

CONST-22-000042

McIntosh TRL,
3/19/2024 11:10:15 AM

General Conditions

ENGINEERING

Demolition Permit

A demolition permit shall be issued from the Coweta County Building Division prior to removal of any structures on the property.

Notice of Intent

Provide a copy of the approved Notice of Intent for our files. Online submittal is required by the state, and there is a 14-day waiting period required to obtain the approved document. Please convey this information to the owner/developer/contractor to prevent delays in processing.

DEVELOPMENT

Conveyance of Land (to be combined w/ PID 148-1151-019)

The conveyance of the property adjoining Parcel 148-1151-019 will need to be immediately AFTER recording of the final plat - to allow for establishment of the Sidewalk & Utility Easement prior to the transfer. Please plan to make this deed part of the legal documents provided to the County as part of the Final Plat process. Our staff will record the plat and then the deed - to ensure no remnants remain.

Work within Coweta County Right-of-Way

1. Prior to any work within the County right-of-way, a cost estimate shall be prepared & provided to Bob Palmer (bpalmer@coweta.ga.us) with a copy to the Project Lead, Teresa Crow (tcrow@coweta.ga.us).
2. Once this cost estimate is approved, our office can provide templates for the necessary Performance Bond that will be needed, along with an Indemnification Agreement and Certificate of Insurance example for the contractor that will be performing that portion of the work.
3. Prior to LDP Issuance, the originals of all three (3) documents for work within the right-of-way must be provided to the Coweta County Community Development Department, Attn: Development Review, 22 E. Broad Street, Newnan, GA 30263.

Hold Harmless Letter

PRIOR TO ISSUANCE OF LAND DISTURBANCE PERMIT, Owner/Developer should provide a Hold Harmless Letter to Coweta Count Community Development for any potential loss of lots that may result in the significant layout changes, which differ from the approved Preliminary Plat.

During Construction - Pond Setback to be Monitored

Permittee shall monitor pond construction to ensure compliance is maintained with the minimum 50 foot setback from the adjacent residential boundary.

Evaluation of Buffers

Coweta County Development Review Staff will evaluate all required zoning buffers prior to final plat approval. Additional plantings may be required.



ZONING CONDITIONS:

ON MOTION of Commissioner Pooles, seconded by Commissioner Lasseter, passing by a vote of 3 to 1, with Commissioner Schlemmer voting in opposition, the Board voted to follow the recommendations of the Planning and Zoning Department regarding Petition # 000-21 filed by PJH Twelve Parks, LLC to rezone 450.86 acres located at SR 54, McIntosh Trail, North Road, and Reese Road from RC (Rural Conservation) to RI-B (Single Family Residential Infill District - Medium Density) subject to the following conditions:

1. The maximum number of residential lots shall not exceed 694.
2. The finished floor elevation of the entrance level of the main residential structure shall be a minimum of twelve (12) inches above grade immediately adjacent to the front of the home.
3. All garage doors shall have a carriage-type appearance with arched openings, glass inserts, and decorative hardware. Additionally, the color shall be consistent with the predominant color of the house.
4. The developer shall adhere to the conditions set forth in Attachments A and B of the "Revised Notice of Decision for Request for Non-Expedited Review of DRI 923 Twelve Parks (formerly known as Sharpburg Multi-Use Development)" issued by GRTA and dated December 19, 2007.
5. Proposed improvements to McIntosh Trail on the western boundary shall be coordinated with the current intersection improvements under construction by GDOT (P.L. # 0004278).
6. Proposed improvements along McIntosh Trail and North Rd. shall provide for rehabilitation of the existing roadways throughout the limits of the proposed development.
7. A traffic signal warrant analysis shall be performed for the intersection for roads "C" and "M" with McIntosh Trail. This analysis would be based on the future conditions and build-out of the development. If warranted, the applicant shall provide funding for installation.
8. Two bridges in the vicinity of the project are currently identified for replacement: Keij Creek at McIntosh and Reese Roads. The current ratings for these structures are 10 Tons and 16 Tons, respectively. They are currently scheduled for reconstruction in 2012. Construction traffic from the proposed development shall be prohibited on these structures until replacement is complete. A paving plan for construction vehicles shall be submitted to the county prior to project construction.
9. Road "P" is indicated as a projection into the adjoining property to the north. With the major entrance of road "P" onto SR 54 and the potential of the adjoining property becoming commercial, it is recommended that road "P" and the portion of road "P" from road "H" northward to the property line meet commercial standards versus residential standards.
10. Any connection to state routes will require a GDOT permit and a copy provided to the county prior to issuance of a land disturbance permit in that area.
11. The project shall comply with applicable requirements of Article 21B, Water Supply Watershed Protection Districts, and Article 21D, Groundwater Recharge Protection Districts of the Coweta County Zoning and Development Ordinance.
12. The development shall adhere to Coweta County Ordinances for erosion control, flood plain, wetlands and stormwater.
13. The Coweta County Greenway Master Plan shows hard surface multi-use paths (with golf carts permitted) proposed along McIntosh Trail, Reese Road, and SR 54. The proposed sidewalks and multi-use paths as part of Twelve Parks shall be designed and constructed to tie into the county's future greenway network.
14. If the multi-use paths proposed in the development allow golf carts, the multi-use paths shall be designed to accommodate golf carts and public safety vehicle access and, where feasible, provide for future path connections to adjacent undeveloped property. Multi-use paths and sidewalks shall provide for safe connectivity across McIntosh Trail and North Road and shall meet the requirements of the Development & Engineering Department.
15. There shall be a 50-foot undisturbed buffer meeting requirements of Article 25, Buffer Area and Screening Requirements, of the Coweta County Zoning and Development Ordinance, unless a variance is granted through the normal appeal process.
16. Lighting shall be established so adjacent residential properties and roadways are not adversely affected, and to preclude glare onto or direct illumination of adjacent properties and streets.
17. All wetlands shall remain undisturbed except for underground utility and road crossings.
18. All sanitary wastewater shall be treated per the standards for reuse established by the GA Department of Natural Resources Environmental Protection Division (EPD). The system shall be owned and operated by the Coweta County Water & Sewerage Authority.
19. The owner agrees to negotiate, in good faith, to convey additional rights-of-way in accordance with future road improvements and widening projects at a cost, if any, to be negotiated at the time of conveyance.
20. All homes shall be constructed having exterior finishes of brick, stone, stucco, cement based siding (hardi plank or equal), or wood products such as cedar or timber frame. No vinyl will be used on the exterior of any homes except for soffit construction.
21. A wide variety of house plans, ensuring no mass repetitions shall be utilized within the development.
22. All roofs of the main body of the houses shall have a minimum roof pitch of 8:12.
23. Development shall substantially conform to conceptual site plan submitted with rezoning application.
24. Portions of Twelve Parks development within the Town of Sharpburg shall substantially conform to conceptual site plan submitted with rezoning application and housing styles of the remainder of the development.
25. Pathway Communities Inc. shall enter into a development agreement with Coweta County in an effort to minimize any additional direct impacts in the area and to improve such services as public safety, fire department needs, roads, and bridges.
26. Left and right turn lanes shall be provided for all access points to the Twelve Parks along SR 54, McIntosh Trail, North Road, and Reese Road.

* NOTE: ZONING CONDITION #2 WAS ELIMINATED PER PETITION #000-21.

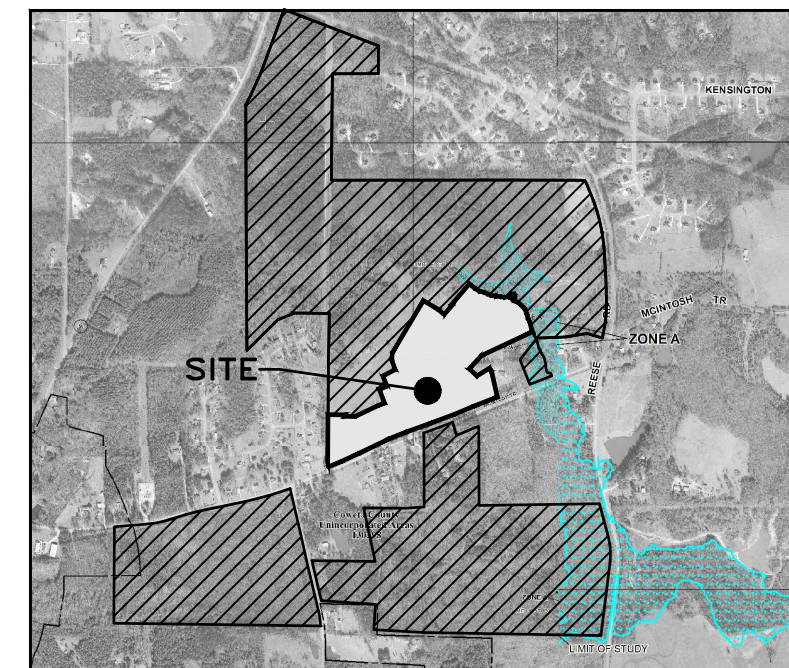
CONTRACTOR NOTE:
IF THE CONTRACTOR, DURING OR PRIOR TO CONSTRUCTION, FINDS ANY DISCREPANCY BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS IN THE PLANS AS PROVIDED BY DAY DESIGN GROUP, INC., HE/SHE SHALL IMMEDIATELY INFORM DAY DESIGN GROUP, INC. ANY WORK PERFORMED AFTER SUCH DISCOVERY, WILL BE AT THE CONTRACTOR'S RISK.

PERMITTING:
THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, POLICIES, STANDARDS OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

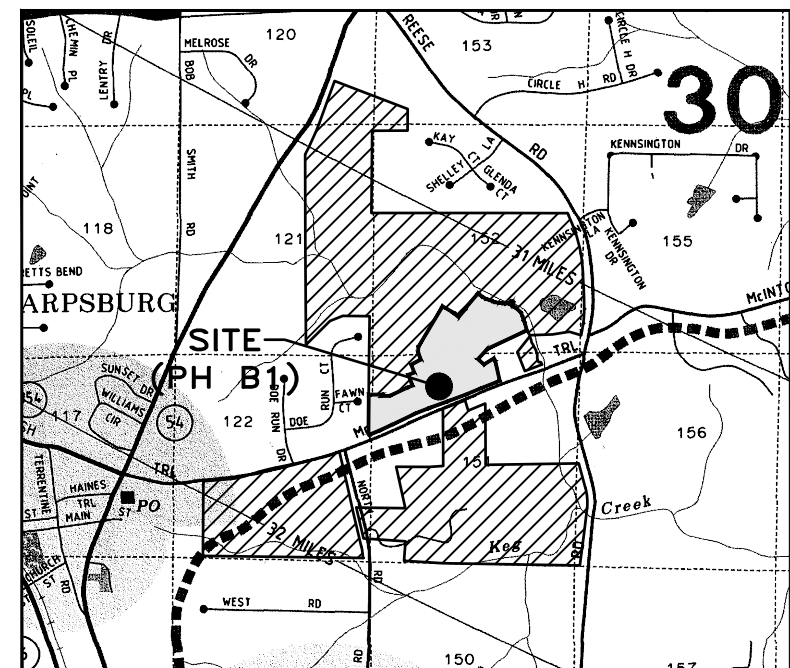
EXISTING UTILITIES:
EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATION FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE PROJECT DESIGNER PRIOR TO CONSTRUCTION. DAMAGE TO ANY EXISTING UTILITY LINES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.

WETLANDS:
APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY COWETA COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLANDS DISTURBANCE.

OSHA DISCLAIMER:
CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS. PROPER SAFETY PROCEDURES ARE OF SPECIAL CONCERN ON THIS PROJECT CONSIDERING THAT WORKERS PROCEDURES ARE OF SPECIAL CONCERN ON THIS PROJECT CONSIDERING THAT WORKERS WILL BE IN OPEN TRENCHES FOR A PORTION OF THE SCOPE OF WORK ON THIS SITE.



FLOOD MAP N.T.S.
THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE PER F.E.M.A. FLOOD INSURANCE RATE MAP OF COWETA COUNTY, GEORGIA. FIRM PANEL NOS. 13077C0280D & 13077C0257D, EFFECTIVE DATE FEBRUARY 6, 2013.



VICINITY MAP N.T.S. Taken from Aero Surveys of Ga., Inc.
THE GPS LOCATION OF THE CONSTRUCTION EXIT IS: 33.3448 NORTH, -84.6283 WEST.

DRI CONDITIONS: (REVISED DECEMBER 19, 2007)

Attachment A - General Conditions

The conditions provided herein shall replace previous conditions from Notice of Decision dated May 2, 2006 for DRI #923 Sharpburg Multi-use Development.

Conditions to GRTA Notice of Decision:

- Development Intensity and Use**
 - The development shall consist of a mix of commercial and residential uses.
 - Provide a separate amenity area in the vicinity of Road R or Road Q and in the vicinity of Road A.
 - Provide a centrally located park in the vicinity of Road C and Road K.
 - Preserve at least 75 feet of Right-of-Way along property frontage measured from the centerline of McIntosh Trail Road for future road widening project RCW-038.
- Road Connectivity**
 - Road C and Road M shall align across McIntosh Trail Road.
 - Road Q shall align with the existing Doe Run subdivision drive across McIntosh Trail Road.
 - Road W and Road R shall align across McIntosh Trail Road.
 - Pod P shall have no more than one site access point onto SR 54, subject to GDOT approval. (as shown on original DRI site plan dated February 7, 2006)
 - Pod K shall have no more than two site access points onto SR 54, subject to GDOT approval.
 - Pod Q shall have no more than one site access point onto SR 54, subject to GDOT approval. (as shown on original DRI site plan dated February 7, 2006)
 - Provide at least one internal connection from Road F to adjacent northern commercial area.
 - The sewer treatment plant access drive shall align with Road O.
- Bicycle and Pedestrian Facilities**
 - A multi-use trail system shall be provided significantly similar to the system shown on the site plan. This system shall provide connections between the residential, amenity areas, and commercial uses.
 - Sidewalks shall be provided on both sides of all internal residential roads.
 - Sidewalks shall be provided along property frontage abutting McIntosh Trail, SR 54, Reese Road and North Road.
 - Bicycle racks shall be provided at all amenity centers and commercial buildings.

Roadway Improvements as Conditions to GRTA Notice of Decision:

The following improvements are required on and adjacent to state routes:

- TDK Extension**
 - Extend TDK Boulevard to intersect with McIntosh Trail (FA-253).
 - Site access points on SR 54.
 - Provide exclusive left and right turn lanes entering and exiting the site. All access points are subject to GDOT approval.

The following improvements are required on and adjacent to non-state routes:

- All site access points on McIntosh Trail**
 - Provide westbound exclusive left turn lanes along McIntosh Trail.
 - McIntosh Trail and Roads C, Q, and R.
 - Provide a westbound exclusive left turn lane along McIntosh Trail at Roads C, Q, and R.
- Reese Road at Access Entering into Pod R**
 - Provide an eastbound exclusive right turn lane. (as shown on original DRI site plan dated February 7, 2006)

Attachment B - Required Elements of the DRI Plan of Development

Conditions Related to Altering Site Plan after GRTA Notice of Decision:

The on-site development will be constructed materially (substantially) in accordance with the Site Plan. Changes to the Site Plan will not be considered material or substantial so long as the following conditions are included as part of any changes:

- All of the "Conditions to GRTA Notice of Decision" set forth in Attachment A are satisfied.
- All of the "Roadway Improvements as Conditions to GRTA Notice of Decision" set forth in Attachment A are satisfied.

Revised Notice of Decision for DRI 923 Twelve Parks

* NOTE: ROAD WIDENING IMPROVEMENTS ALONG MCINTOSH TRAIL ARE NO LONGER PLANNED, THEREFORE, ADDITIONAL RIGHT OF WAY WILL NOT BE REQUIRED.
** NOTE: DEVELOPER NOT RESPONSIBLE FOR EXTENSION OF TDK.

NOTES:

1. ANY CHANGES OR ALTERATIONS MADE TO THESE CONSTRUCTION DRAWINGS WITHOUT THE WRITTEN APPROVAL OF DAY DESIGN GROUP, INC. VOID THE SEAL SHOWN HEREON AND ANY LIABILITY ASSOCIATED WITH THIS PROJECT. THE ORIGINAL DRAWINGS ARE KEPT ON FILE FOR VERIFICATION OF ANY CHANGES.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTORS SHALL NOTIFY THE OWNER'S CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
3. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY COWETA COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND THAT IS DISTURBED.
4. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY COWETA COUNTY OF ANY LAND DISTURBING ACTIVITIES WHICH MAY IMPACT ANY ENDANGERED SPECIES. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY DISTURBANCE WHICH MAY HAVE THIS EFFECT.
5. IRRIGATION SPRINKLERS ARE NOT ALLOWED IN THE ROAD RIGHT-OF-WAY.
6. TWO COPIES OF AS-BUILT PLANS SHALL BE SUBMITTED AT THE TIME THE PROJECT IS COMPLETE THAT PROVIDE PLAN AND PROFILE, VERTICAL, GRADE DATA, INCLUDING STORM DRAINAGE. THIS SHALL BE SUBMITTED BEFORE FINAL PLAT IS APPROVED.
7. A SIGNED/SEALED STATEMENT BY A PROFESSIONAL ENGINEER, CURRENTLY REGISTERED IN THE STATE OF GEORGIA THAT THE "AS-BUILT" CONDITION OF THE STORM DRAINAGE SYSTEM WILL FUNCTION AS DESIGNED AND ENGINEERED IN THE APPROVED CONSTRUCTION DRAWINGS.
8. ANY DEVELOPMENT THAT HAS A STREAM OR STREAMS, SHALL HAVE A STATEMENT CONCERNING ENDANGERED SPECIES AND WHERE INFORMATION WAS OBTAINED.
9. ALL UTILITIES SHALL BE UNDERGROUND.
10. CONTRACTOR SHALL INSTALL TWO ROWS OF GA D.O.T. TYPE C SILT FENCE SHALL BE INSTALLED ADJACENT TO STATE WATERS AND WILL PROTECT STATE WATERS FROM ANY LAND DISTURBANCE ACTIVITY.
11. SUBGRADE UNDER CURB MUST BE PROOF ROLLED PRIOR TO CURB INSTALLED.
12. ALL TREE PROTECTION MEASURES MUST BE INSTALLED PRIOR TO GRADING.
13. AREA DESIGNATED AS OPEN AREA IS COMMON AREA.

SUBDIVISION DEVELOPMENT PLANS

FOR

TWELVE PARKS PHASE B1

A RESIDENTIAL DEVELOPMENT

LOCATED IN

LAND LOTS 151 & 152 1ST DISTRICT

TAX PARCELS: 147-1152-146 & 147-1152-147

COWETA COUNTY, GEORGIA

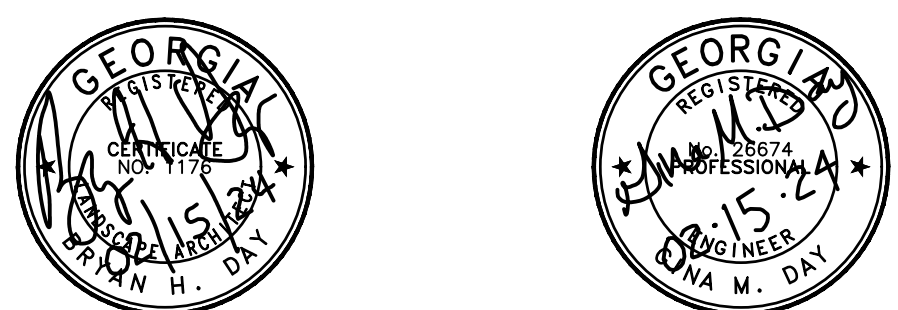
JANUARY 23, 2023

SITE AREA = 46.9 AC.
DISTURBED AREA = 50.50 AC.

ZONED RI-B

NO.	DATE	DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS
5	11/22/23	REVISIONS PER COUNTY COMMENTS AND KIMLEY HORN COMMENTS
4	06/12/23	REVISIONS PER COUNTY COMMENTS
3	05/08/23	REVISIONS PER KIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

REVISIONS



DAY DESIGN GROUP, Inc.

CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
SITE PLANNING

P.O. BOX 848 (770) 271-4676 ph.
BUFORD, GA 30515 (706) 389-8569 fax

ddg@daydesigngroup.com
www.daydesigngroup.com

Utilities Protection Center, Inc
811 or 1-800-282-7411

Know what's below.
Call before you dig.

OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276

24 HOUR CONTACT
MR. DAVID LINDSEY
(770) 599-1004

ENGINEERING CONTACT:
DAY DESIGN GROUP, INC.
GINA M. DAY
(770) 271-4676
ddg@daydesigngroup.com

SURVEY CONTACT
NORTHEAST LAND SURVEYING, LLC
P.O. BOX 384
BRASELTON, GA 30517
KEVIN CANN
678-776-7494

PROJECT DESCRIPTION:
THE EXISTING SITE IS HEAVILY WOODED WITH A MIXTURE OF PINES & HARDWOODS. THE NATURE OF THE PROPOSED CONSTRUCTION ACTIVITY IS FOR THE DEVELOPMENT OF THE TWELVE PARKS RESIDENTIAL SUBDIVISION-PHASE B1. TO THE NORTH ARE OTHER PHASES OF THE 12 PARKS DEVELOPMENT. TO THE EAST ARE EXISTING RESIDENTIAL PROPERTIES FRONTING ON MCINTOSH TRAIL. TO THE WEST ARE RESIDENTIAL PROPERTIES IN THE DOE RUN SUBDIVISION AND AN EXISTING RESIDENTIAL PROPERTY FRONTING ON MCINTOSH TRAIL. THE SITE IS BOUND TO THE SOUTH BY MCINTOSH TRAIL. THERE ARE NO ADVERSE IMPACTS TO DOWNSTREAM PROPERTIES IN THE POST DEVELOPED CONDITION.

GENERAL NOTES:

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND ANY RECOMMENDATIONS BY A QUALIFIED REGISTERED GEOTECHNICAL ENGINEER.
4. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
5. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
6. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
7. THE MAXIMUM ALLOWABLE BUILDING HEIGHT IS 40 FEET.

"I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

SIGNED
GINA M. DAY

06.12.23
DATE

ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE, AND THE COUNTY ARBORIST/LANDSCAPE ARCHITECT SHALL BE CONTACTED FOR A PRE-CONSTRUCTION CONFERENCE PRIOR TO ANY LAND DISTURBANCE.

GA EPD APPROVAL IS REQUIRED FOR THIS PROJECT DUE TO THE PROPOSED DISTURBANCE EXCEEDING 10 ACRES. REFERENCE THE EROSION CONTROL SHEETS FOR APPENDIX 1 MEASURES PROPOSED.

LEVEL II CERTIFICATION #: 0000012799

ISSUED: 07/11/2021

EXPIRES: 07/11/2024

SIGNED
GINA M. DAY

NOTE: THE APPLICABLE PORTIONS OF THE EROSION, SEDIMENTATION & POLLUTION CONTROL PLANS SHALL BE PROVIDED TO THE SECONDARY PERMITEE PRIOR TO THE SECONDARY PERMITEE CONDUCTING ANY CONSTRUCTION ACTIVITY. SECONDARY PERMITEES SHALL ACKNOWLEDGE RECEIPT IN THE TABLE BELOW.

NAME OF PERMITEE	ADDRESS	SIGNATURE/ ACKNOWLEDGEMENT OF RECEIPT

CONSTRUCTION SCHEDULE	1st MONTH	2nd MONTH	3rd MONTH	4th MONTH	5th MONTH	6th MONTH
INSTALL EROS. & SEDIMENT CONTROLS & MAINTEN.	[Hatched]					
CLEARING, GRUBBING & GRADING	[Hatched]					
MULCHING	[Hatched]					
TEMPORARY GRASSING	[Hatched]					
INSTALL STORM & SANITARY SEWERS						
INSTALL CURB & GUTTER						
INSTALL WATER LINES						
INSTALL PAVING						
INSTALL PERMANENT VEGETATION (GRASSING)						

SHEET NO.	TITLE
1	COVER SHEET
2A & 2B	REFERENCE SURVEY & OVERALL SITE LAYOUT
2C	OVERALL SIDEWALK MASTERPLAN
3A & 3B	PRELIMINARY PLAT
4A - 4C	GRADING & DRAINAGE PLAN
5A - 5C.1	ENTRANCE LAYOUT & GRADING PLANS
5D - 5E	ENTRANCE UTILITY RELOCATION PLANS
6 - 8	THREE PHASE EROSION CONTROL PLANS & DETAILS
9A - 9D	EROSION CONTROL NOTES & DETAILS
10A - 10D	ROADWAY PLAN & PROFILES
11A - 11D	STORM SEWER PLAN & PROFILES
12A - 12E	SANITARY SEWER PLAN & PROFILES
13-13A	DETENTION POND PLANS, PROFILES & DETAILS
14A - 14B	WATER DISTRIBUTION PLAN
15 - 16A	TREE PROTECTION PLAN & BUFFER PLANTING PLAN
17 - 24	CONSTRUCTION DETAILS
25	DRI REFERENCE PLAN

Coweta County Plan Notes:

- A Pre-Construction Meeting shall be scheduled by the Permittee with the Community Development Department prior to the issuance of the County Land Disturbance Activity Permit (LDAP). Contact Linda Ham at 770-254-2635 to schedule the meeting with the Development Inspector. The Development Inspector will require that the contractor responsible for the land disturbing activity be present at this meeting. The Permit application shall be completed, and all required documents shall be provided to the Community Development Department. The Georgia Environmental Protection Division (EPD) requires that a Notice of Intent (NOI) be completed and approved by the Ga. EPD and provided to the Community Development Department prior to the County LDAP being issued.
- Land Disturbance Activity Permit shall be displayed onsite and in plain view from a public road.
- All NPDES Permit documents shall be kept up to date as required by the General Permit and made available to the County Development Inspector upon request.
- The Permittee is responsible for all construction traffic control signs and devices as required by current M.U.T.C.D. and GDOT standards and specifications. Proper and adequate traffic control is mandatory prior to beginning construction activities.
- Prior to any work within the County right-of-way the Permittee shall contact the County Development Inspector. All materials and construction methods for work within the right of way shall conform to the Coweta County Code of Ordinances.
- Prior to timbering activities, the Permittee shall notify the County Development Inspector. Perimeter silt fence will be required as soon as practical to protect down gradient properties. Stone Waters (if any) and Wetlands (if any). All State Waters shall be protected by 2 rows of Type C Silt Fence or 2 rows of FPOP silt fence. Removal of all vegetation to include brush, trees and stumps. All debris is to be buried or ground. No burn or bury pits within the roadway construction limits. Bury pits are not allowed. The Permittee shall contact the Georgia Forestry Commission for burn permit inquiry and notify the County Development Inspector prior to any burning activity.
- Install construction entrance/exit at location shown on the plans or contact County Development Inspector to discuss location revision.
- Prior to beginning grading, the Permittee shall install the best management practices (BMPs) per the approved plans; the stormwater management facilities shall be constructed, stabilized and retrofitted for sediment storage per the approved plans. The Permittee shall notify the County Development Inspector at least 24 hours prior to requesting an initial erosion control inspection. Prior to beginning any grading activity, the Permittee shall obtain approval from the County Development Inspector.
- The Building Division of the Coweta County Community Development Department will not issue permits or review the building plans until the initial phase erosion and sedimentation controls are installed, inspected and approved by the Engineering Division of the Community Development Department. Once approved, the Engineering Division will send a memo to the Building Division stating "no objections to the release of the Building Permit" and this memo along with other County department's "no objection memos" will allow the review of the building plans by the Building Department. The Building Division will release the Building Permit once all site approvals are granted AND once building plans are approved by the Building Official and Fire Marshal. It is strongly recommended to contact the Building Department to avoid delays.
- Street name signs, traffic control signs and devices such as striping and signalization, shall be provided by the Permittee. Installation can be accomplished by payment of fees for installation by the Coweta County Public Works Department or installation by the owner/developer. In any case installation / placement of all required signs and traffic control devices shall be complete prior to final plat approval and / or the issuance of any Certificate of Occupancy for the development.
- Install erosion control (per the construction plans) as clearing and grubbing proceeds through the project. Permittee shall contact the County Development Inspector for logistical staging of construction.
- All topsoil shall be stripped from the roadbed and all fill areas. The depth of removal of unsuitable soil will depend on conditions. Surge stone topped with #34 stone and stabilization fabric is acceptable as long as it they are a minimum of 4.5 ft. below subgrade or below utility installation. Fill areas shall be inspected prior to placement of fills. Contact County Development Inspector for inspection prior to fill placement. All fills shall be placed in thin (8 inches) layers and compacted with a sheepsheep's-foot roller, either self-propelled or pulled. All fills over two feet shall be tested for compaction by a geotechnical engineering firm at the owners / developers / contractors expense. All fills are tested at two feet below subgrade (95% standard proctor) and at subgrade (95% standard proctor).
- Rock shall be removed from the subgrade to a depth of one foot below subgrade. Rock in the shoulders should be removed to facilitate proper installation of utilities. The typical depth of removal is 4.5 ft. to allow for waterline installation. Should utilities cross the roadway where rock exists, the rock shall be removed prior to installation of curb and gutter or utilities. When rock is encountered the Permittee shall contact the County Development Inspector to discuss rock removal intentions. The Permittee shall be responsible for contacting the Coweta County Community Development Department and the Coweta County Fire Marshal's Office prior to any rock blasting activities.

- The vertical alignment of the roadway must be checked for sight distance on crest vertical curves using eye heights and object heights of 3.5 and 2 ft. respectively to achieve a minimum sight distance of 200 ft. Minimum and maximum profile grades shall be 2% and 10% respectively. Assure positive drainage through intersections and cul-de-sacs (3 ft. minimum fall across cul-de-sacs) assuring a minimum 2% grade along any grade line.
- All roadway grades shall conform to the construction plans as much as possible. Figure #7 governs the roadway typical section. Figure #7 depicts the lane width, curb and gutter, shoulder width, sidewalk location and utility locations and depths. Deviation from the plans shall not produce road grades under 2% or over 12%. Cul-de-sacs shall be graded to establish a 2% grade around the outside perimeter of the cul-de-sac to the drainage inlet or throat of the cul-de-sac. This will usually produce a difference in elevation of 3 feet across the cul-de-sac but in no case should the difference be greater than 5 ft. Shoulders and slopes shall be graded per the typical section with shoulder slopes at 1/2-inch/foot +/-, and front and back slopes at a 2:1 maximum. Shoulders shall be at grade with a 3-foot to 4-foot box out for curb and gutter with approximately 18-inches of material for backfill. The Permittee shall contact the County Development Inspector prior to any plan deviations. In most cases a plan revision will be required to be submitted to the County Staff Engineer for approval prior to field construction.
- Storm Drain Systems: The Permittee shall notify the County Development Inspector 24 hours prior to storm system installation to ensure that adequate inspections are made and documented by the County Development Inspector for approval and to help ensure County Staff right of way acceptance recommendation to the Board of Commissioners. Roadway crossings - an appropriate class of reinforced concrete pipes and structures shall be required on all roadway crossings. Compaction shall be obtained from the bottom of the trench, typically using a wacker packer or trench roller. If ground water is encountered while installing the storm pipe, #57 stone shall be placed under the entire system. When storm pipe is placed in areas of flowing streams, a minimum of #57 stone shall be placed underneath the pipe. Pipes underneath the roadway and inside the utility corridor shall have minimum of 4 ft. of cover for adequate utility placement depth. Longitudinal and conveyance systems: an appropriate class of galvanized corrugated metal pipe fully bituminous coated with a paved invert or reinforced concrete shall be used on Storm Drain Systems which are longitudinal to the roadway or conveying storm water to or from the roadway crossings. Any structure in a flowing stream or where ground water is encountered shall be bedded in a minimum of 6-inches in stone from the inlet to the outlet of the structure. During the installation of pipe, the structures under the roadway shall be compacted from the bottom of the trench to the sub grade in no more than 8-inch lifts. A minimum of 2-feet of cover is required from the top of pipe to subgrade. All pipes shall be inspected prior to backfill. They should be backfilled and compacted to the top of the pipe with joints and bands exposed. The gauge and corrugation of pipe shall be verified by invoice. The corrugations shall be 2 1/2" x 1/2" on pipes up to 36 inches in diameter. Over 36 inches to 37 1/2", in any case, no pipe will exceed 3' x 1' corrugation. Typically, the gauges of pipe will be 16 gauge except for 3' x 1' which shall be 14 gauge. Stormwater structures: All structures (i.e., catch basins, drop inlets, junction boxes) shall be grouted both on the inside and outside the structure with GDOT class "A" concrete or brick masonry. Any repairs shall be made with GDOT class "A" concrete or brick masonry. In addition, these structures shall have paved inverts. All structures shall have 0.2 ft. fall across the structure. Compaction around catch basins shall be inspected by the County Development Inspector when placed. In cul-de-sacs, the catch basin shall be offset one foot and have a one foot throat at the entrance.
- End treatments for storm drain pipes smaller than 48 inches in diameter shall be flared end sections. Metal end treatments shall be fully bituminous coated. All other treatments shall be concrete headwalls or approved alternates.

- 6 inch high 6-inch-high concrete curb and gutter shall be installed with GDOT class "A" concrete. Concrete testing will be required at Permittee's expense for mix utilized other than GDOT class "A". Prior to placement of the curb and gutter the Permittee shall notify the County Development Inspector 24 hours in advance to schedule inspection of the required proof roll of the sub grade with a tandem axle truck loaded with approximately 17 tons of stone. The subgrade and all drainage structures shall be inspected and approved by the County Development Inspector prior to curb and gutter installation. As a part of this inspection, it is required that the centerline be staked and compaction tests for the soil be provided from a qualified geotechnical testing firm and stamped by an engineer practicing geotechnical engineering. Prior to placement of curb and gutter all drainage structures must be in place and the shoulders sloped and boxed out. Subgrades shall be prepared by blading and having no more than 0.02 feet of difference in elevation across the roadbed. While performing the proof roll, any areas that are pumping, unstable or scabbing shall be corrected. All shoulders shall be graded full width for utility and sidewalk placement and sloped towards the road at 1/2 inch per ft. Finish elevations of the curb, from one side to the other, shall not be more than 0.2 ft. The distance from back of curb to back of curb shall be 26 ft. Curb and gutter shall have contraction joints, either sawed or formed, at maximum spacing of 15 feet. Expansion joints, with approved expansion material, shall be placed at all radius returns and at maximum spacing of 200 feet in tangent sections. Special attention to intersection is strongly recommended to ensure that the curb grades are such that promotes positive drainage. In no case will ponding of stormwater be allowed. It is the Permittee's responsibility to ensure that stormwater ponding doesn't occur. It shall be the Permittee's responsibility to cure any areas deemed not acceptable to the County Development Inspector at no cost to the County.
- The Permittee shall notify 24 hours in advance to schedule an inspection with the County Development Inspector. Inspections shall be made prior to any concrete placement. The throats and tops are poured upon completion of the curbs. Expansion joints shall be placed between the curb line and the catch basin. When the throats are poured, the pedestals shall be poured simultaneously. Tops shall have 1" (#4) rebar at 6" centers each way. Double steel of rebar shall be placed across the front.
- Utility installation typically occurs upon the completion of the curb and gutter. All services that cross under the roadway shall be bored. This includes mainline water service as well as longside services. Should the contractor wish to install conduit prior to curb and gutter, trenches shall be wide enough to allow for proper compaction equipment. Should situation arise for the need to open cut the roadway, the Permittee shall contact the County Development Inspector prior to doing so.

- The Permittee shall notify the County Development Inspector at least 24 hours prior to required inspection to schedule the subgrade inspection. Prior to placement of graded aggregate base (GAB), the sub grade shall be proof rolled with a tandem load of rock weighing approximately 17 tons and a string line pulled every 50 ft. to assure proper crown and depth. The County Development Inspector shall perform this inspection and approve for records. Where vertical curves are allowed with lengths less than 200 ft., grade shall be ensured at 25 ft. to ensure uniform grades. The County Development Inspector shall perform this inspection and approval for records. Graded aggregate is placed to a depth of 6-inches in subdivisions and per the plans on road widening. Sub grade stabilization will be required in areas that may be needed. Areas of unstable soil shall be stabilized with #34 stone. Additional subgrade material will need to be removed when this stone is applied. Scarifying and mixing of the soil shall be accomplished to a depth of approximately 6 inches and re-compact. After subgrade has been stabilized, the graded aggregate base shall be installed. Prior to asphalt placement, the GAB shall be proof rolled with a tandem load of rock weighing approximately 17 tons and a string line pulled every 50 ft. to assure proper crown and depth. Where vertical curves are allowed with lengths less than 200 ft., grade shall be ensured at 25 ft. to ensure uniform grades. The Permittee shall ensure that the County Development Inspector has made the required inspections in order to proceed with subsequent construction.
- The Permittee shall notify the County Development Inspector of the paving schedule at least 24 hours prior to asphalt paving. Placement of asphaltic concrete requires an approved proof roll of the GAB and a string line for proper depth and crown as previously mentioned. 2-inches of "B" binder and 2-inches of "C" or "D" topping is required for subdivisions according to the plans for road widening. Tack coat shall be applied between layers. Upon completion of the asphalt paving, the Permittee is required to provide core tests of the asphalt every 300 ft. alternating lanes taken at the quarter points of the roadway. Cores shall be taken in the cul-de-sacs forming a triangular pattern measured from the radius to the midpoint (approximately 10 ft. from the curb line). All test reports shall be submitted to the Coweta County Community Development Department for approval.
- The Permittee shall contact the County Development Inspector prior to sidewalk and curb ramp construction. All required sidewalk curb ramps within the right-of-way shall be constructed and meet the 2010 ADA and current Georgia Accessibility Codes. Sidewalk locations shall be per figure #7. Sidewalks are required to be located off of the right of way and within the 7 ft. sidewalk easement Sidewalk curb ramps within the right of way shall be completed and approved by the County Development Inspector prior to right of way acceptance by the Board of Commissioners. The sidewalks can be made the responsibility of each lot owner and shall be noted so on the final plat.
- Completion of the development will require a final inspection for proper installations and removal of construction debris. All disturbed areas shall be mulched and grassed/seeded, and proper riprap placed at the outlet of the drainage structures. The Permittee shall be responsible for notifying the County Development Inspector 24 hours in advance for final inspection.
- The Permittee or Contractor shall contact the Coweta County Project Lead (770-254-2635) for a closure conference when the project is approximately 80% complete. This conference will trigger reviews and inspections by all County departments and the Permittee / Contractor will be provided with a punch-list of items of importance that must be completed before Certificate of Completion or Occupancy is granted.
- After construction is complete the Permittee is required to submit a Stormwater Management Facility Maintenance Agreement(s) and have the Engineer submit a Pond Certificate(s) prior to release of the Certificate of Occupancy or Final Plat acceptance by the Board of Commissioners. After construction is complete, the Permittee is required to submit a Final Plat and it shall be approved prior to submission of the Final Plat to the Board of Commissioners for right-of-way acceptance. All improvements within the existing and proposed right of way shall be complete and approved by the County Development Inspector unless exception is granted by the Commission Chairman and performance bonds are approved by staff. After construction is complete, the Permittee is required to submit an As-Built Plan and it shall be approved prior to submission of the Final Plat to the Board of Commissioners for right-of-way acceptance. The items required on the As-Built Plan can be included on the Final Plat. After construction is complete, the Permittee is required to submit a 3 year 3-year Maintenance Bond prior to submission to the Board of Commissioners for right-of-way acceptance. The amount of the bond can be calculated and provided after the Final Plat has been received for review. After construction is complete, the Permittee is required to submit right-of-way dedication documents, open space documents, and other legal documents as required prior to submission to the Board of Commissioners for right-of-way acceptance. After construction is complete, the Permittee is required to submit a 2 year 2-year Landscape Maintenance Bond for all required landscaping improvements. Contact the Coweta County Community Development Department for the latest documents. 770-254-2635.



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SITE PLANNING**

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BUFORD, GA 30515

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**DAY
DESIGN
GROUP, Inc.**

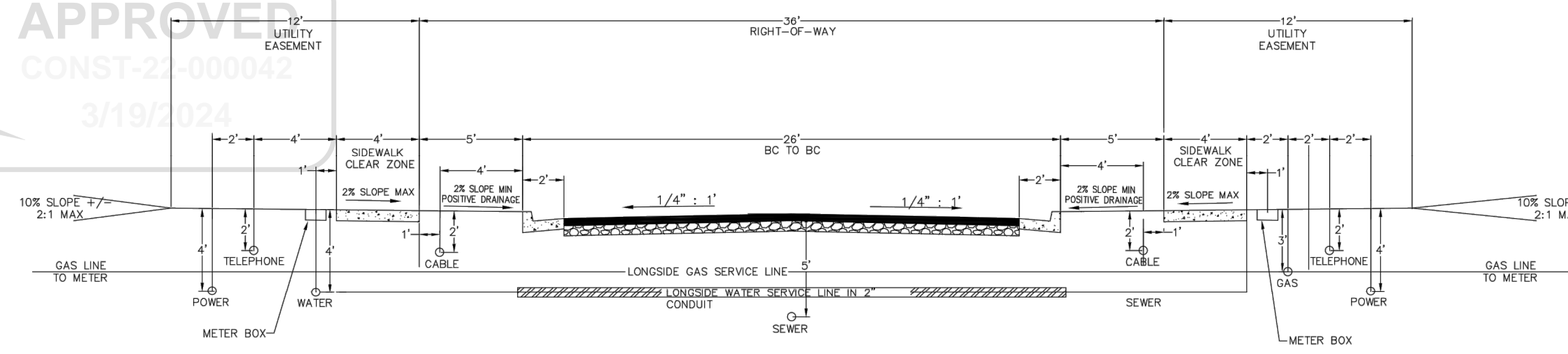
OVERALL SITE LAYOUT FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151 - 152
COWETA COUNTY, GEORGIA

NO.	DATE	REVISIONS	DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS	
5	11/22/23	REVISIONS PER COUNTY COMMENTS AND REVIEWER COMMENTS	
4	06/12/23	REVISIONS PER COUNTY COMMENTS	
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS	
2	01/23/23	REVISIONS PER COUNTY COMMENTS	
1	07/07/22	INITIAL DATE OF PLANS	

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET OF
2B 25

APPROVED
CONST-21-000042
5/19/2024



PAVEMENT DESIGN
2" ASPHALTIC CONCRETE "E" OR "F"
2" ASPHALTIC CONCRETE "B" BINDER
6" GRADED AGGREGATE BASE
SUBGRADE STABILIZED AS REQUIRED
98% STANDARD PROCTOR

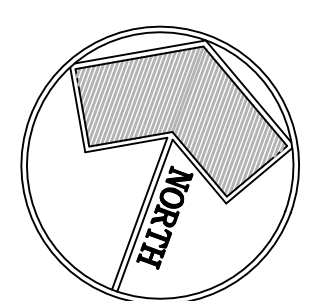
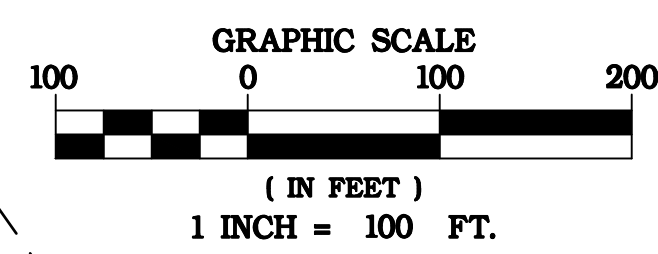
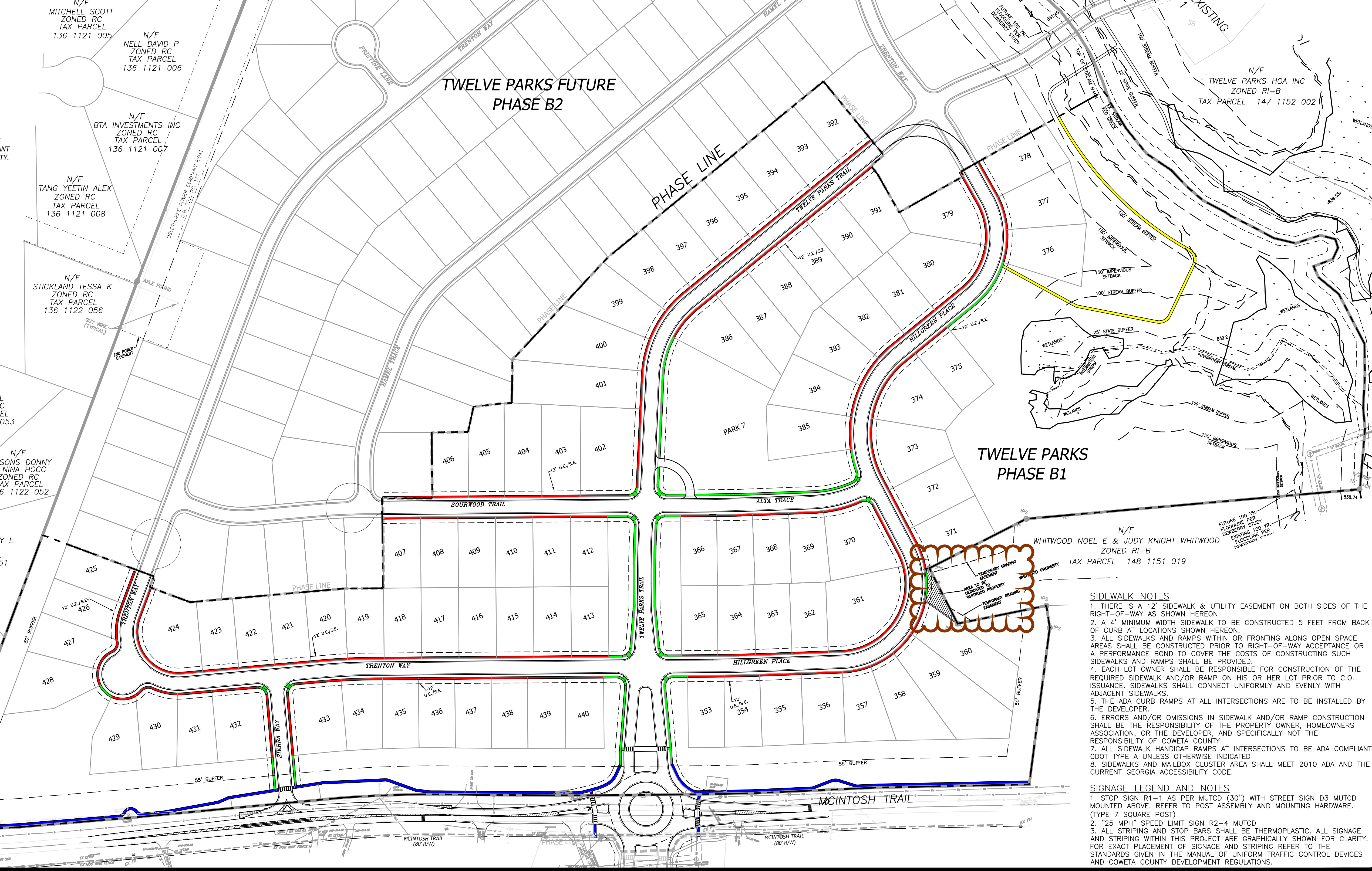
- NOTE:
1. A BITUMINOUS TACK COAT MEETING THE CURRENT GA D.O.T. SPECIFICATIONS SHALL BE APPLIED BETWEEN LIFTS OF ASPHALT.
2. ALL CONCRETE CURB AND GUTTER TO BE CLASS "A" CONCRETE.
3. SEE TABLE 5 STREET REGULATIONS IN THE DEVELOPMENT REGULATIONS FOR ADDITIONAL REQUIREMENTS REGARDING R.O.W., PAVING WIDTH, LANDSCAPE ZONE, AND SIDEWALK CLEAR ZONE.

STANDARD DETAILS FOR SUBDIVISION STREETS WITH CURB AND GUTTER
DESIGN STANDARDS - COWETA COUNTY, GEORGIA
Proposed Revision: 6/27/19 (Ord. of 3-7-17)
REVISED FIGURE 7
APPROVED AT 8/6/19
BOARD OF COMMISSIONERS MEETING.
PROPOSED REVISION TO: FIGURE #7
FOR TWELVE PARKS

- TWELVE PARKS PROJECT DETAILS:**
1. ZONING= RI-B
PROPOSED LAND USE= SINGLE FAMILY
2. TAX PARCELS: 147-1152-146 & 147-1152-147
3. GROSS PROPERTY ACREAGE = 46.9 ACRES
TOTAL NUMBER OF LOTS= 88
4. BUILDING SETBACKS ARE TO BE PER RI-B ZONING WHICH ARE:
FRONT 42' (PER 8-6-19 BOARD OF COMMISSIONERS MEETING APPROVAL OF REVISED FIGURE 7)
SIDE 5'
REAR 20'
5. MINIMUM FLOOR AREA = 1725 SF.
6. OPEN SPACE:
REFERENCE THE APPROVED OVERALL PRELIMINARY PLAT FOR OPEN SPACE CALCULATIONS FOR THE PROJECT.
7. UTILITIES:
A. WATER PROVIDED BY COWETA COUNTY WATER & SEWERAGE AUTHORITY
B. SEWER PROVIDED BY PROPOSED ON-SITE WASTE WATER TREATMENT PLANT OWNED AND OPERATED BY COWETA COUNTY WATER & SEWERAGE AUTHORITY.
8. BOUNDARY INFORMATION TAKEN FROM BOUNDARY SURVEY PREPARED BY NORTHEAST LAND SURVEYING, LLC, DATED 08/03/16.
9. TOPOGRAPHIC INFORMATION IS FROM AERIAL TOPOGRAPHY PROVIDED BY JACK BERRY & ASSOCIATES.
10. SOURCE OF DATUM IS MEAN SEA LEVEL.
11. TRAIL LOCATIONS ARE CONCEPTUAL ONLY AND SUBJECT TO MODIFICATION IN THE FIELD.
12. ALL BUILDINGS WILL HAVE A MAXIMUM HEIGHT OF 40'.
13. SIDEWALKS PROVIDED ON BOTH SIDES OF STREETS.
14. THIS PROPERTY IS LOCATED IN A FLOOD HAZARD ZONE "A" (UNSTUDIED) PER F.E.M.A. FLOOD INSURANCE RATE MAP OF COWETA COUNTY, GEORGIA, MAP NOS. 13077C0257D & 13077C0280D, DATED FEBRUARY 6, 2013.
15. STREET CENTERLINE HORIZONTAL GEOMETRY CONFORMS TO THE COWETA COUNTY LAND DEVELOPMENT REGULATIONS.
16. ALL STREETS ARE TO BE 26' BACK OF CURB TO BACK OF CURB.
17. THE INDIVIDUAL RESIDENTIAL PROPERTIES ARE TO BE ADDRESSED IN ACCORDANCE WITH COWETA COUNTY ORDINANCES SECTION 246.1.2.

- PLAN LEGEND**
--- 12' SIDEWALK & UTILITY EASEMENT
--- LOT/PROPERTY LINE
--- 4' WIDE SIDEWALK BY DEVELOPER
--- 5' WIDE SIDEWALK BY DEVELOPER
--- 5' WIDE MULTI-USE TRAIL BY DEVELOPER
--- 4' WIDE SIDEWALK BY BUILDERS

MULTI-USE TRAIL NOTE:
5' WIDE MULTI-USE TRAIL SHOWN TO BE COMPOSED OF A COMPACTED SURFACE OF NATURAL NATIVE SOIL MATERIAL REMAINING UPON CLEARING. DEVELOPER TO CLEAR A 6' WIDE AREA ALONG THE TRAIL AS WELL AS A 7' HIGH AREA FOR ANY LIMB REMOVAL NEEDED FOR TRAIL ACCESS. ALL STUMPS TO BE REMOVED WITHIN TRAIL AREA.



OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276

24 HOUR CONTACT
MR. DAVID LINDSEY
(770) 599-1004

ENGINEERING CONTACT:
DAY DESIGN GROUP, INC.
GINA M. DAY
(770) 271-4676
ddg@daydesigngroup.com

SURVEY CONTACT
NORTHEAST LAND SURVEYING, LLC
P.O. BOX 384
BRASELTON, GA 30517
KEVIN CANN
678-776-7494



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SITE PLANNING
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BUFORD, GA 30515
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(770) 369-8568 fax
www.daydesigngroup.com

DAY DESIGN GROUP, Inc.

OVERALL SIDEWALK MASTERPLAN
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
LAND LOTS 151-152
1ST DISTRICT - COWETA COUNTY, GEORGIA

NO.	DATE	REVISIONS PER COUNTY COMMENTS	DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS AND HOMEOWNERS ASSOCIATION COMMENTS	
5	11/22/23	REVISIONS PER COUNTY COMMENTS	
4	06/12/23	REVISIONS PER RIMLEY HORN COMMENTS	
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS	
2	01/23/23	REVISIONS PER COUNTY COMMENTS	
1	07/07/22	INITIAL DATE OF PLANS	

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET 2C OF 25

- SIDEWALK NOTES**
1. THERE IS A 12' SIDEWALK & UTILITY EASEMENT ON BOTH SIDES OF THE RIGHT-OF-WAY AS SHOWN HEREON.
2. A 4' MINIMUM WIDTH SIDEWALK TO BE CONSTRUCTED 5 FEET FROM BACK OF CURB AT LOCATIONS SHOWN HEREON.
3. ALL SIDEWALKS AND RAMPS WITHIN OR FRONTING ALONG OPEN SPACE AREAS SHALL BE CONSTRUCTED PRIOR TO RIGHT-OF-WAY ACCEPTANCE OR A PERFORMANCE BOND TO COVER THE COSTS OF CONSTRUCTING SUCH SIDEWALKS AND RAMPS SHALL BE PROVIDED.
4. EACH LOT OWNER SHALL BE RESPONSIBLE FOR CONSTRUCTION OF THE REQUIRED SIDEWALK AND/OR RAMP ON HIS OR HER LOT PRIOR TO C.O. ISSUANCE. SIDEWALKS SHALL CONNECT UNIFORMLY AND EVENLY WITH ADJACENT SIDEWALKS.
5. THE ADA CURB RAMPS AT ALL INTERSECTIONS ARE TO BE INSTALLED BY THE DEVELOPER.
6. ERRORS AND/OR OMISSIONS IN SIDEWALK AND/OR RAMP CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, HOMEOWNERS ASSOCIATION, OR THE DEVELOPER, AND SPECIFICALLY NOT THE RESPONSIBILITY OF COWETA COUNTY.
7. ALL SIDEWALK HANDICAP RAMPS AT INTERSECTIONS TO BE ADA COMPLIANT CDOT TYPE A UNLESS OTHERWISE INDICATED.
8. SIDEWALKS AND MAILBOX CLUSTER AREA SHALL MEET 2010 ADA AND THE CURRENT GEORGIA ACCESSIBILITY CODE.

- SIGNAGE LEGEND AND NOTES**
1. STOP SIGN R1-1 AS PER MUTCD (30") WITH STREET SIGN D3 MUTCD MOUNTED ABOVE. REFER TO POST ASSEMBLY AND MOUNTING HARDWARE. (TYPE 7 SQUARE POST)
2. "25 MPH" SPEED LIMIT SIGN R2-4 MUTCD
3. ALL STRIPING AND STOP BARS SHALL BE THERMOPLASTIC. ALL SIGNAGE AND STRIPING WITHIN THIS PROJECT ARE GRAPHICALLY SHOWN FOR CLARITY. FOR EXACT PLACEMENT OF SIGNAGE AND STRIPING REFER TO THE STANDARDS GIVEN IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND COWETA COUNTY DEVELOPMENT REGULATIONS.

OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
 140 VILLAGE CIRCLE
 SENOIA, GA 30276

24 HOUR CONTACT
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 (770) 599-1004

ENGINEERING CONTACT:
DAY DESIGN GROUP, INC.
 CINA M. DAY
 (770) 271-4676
 ddg@daydesigngroup.com

SURVEY CONTACT
NORTHEAST LAND SURVEYING, LLC
 P.O. BOX 384
 BRASELTON, GA 30517
 KEVIN CANN
 678-776-7494

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.

PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

THERE ARE STATE WATERS AND ASSOCIATED BUFFERS ON THIS SITE.

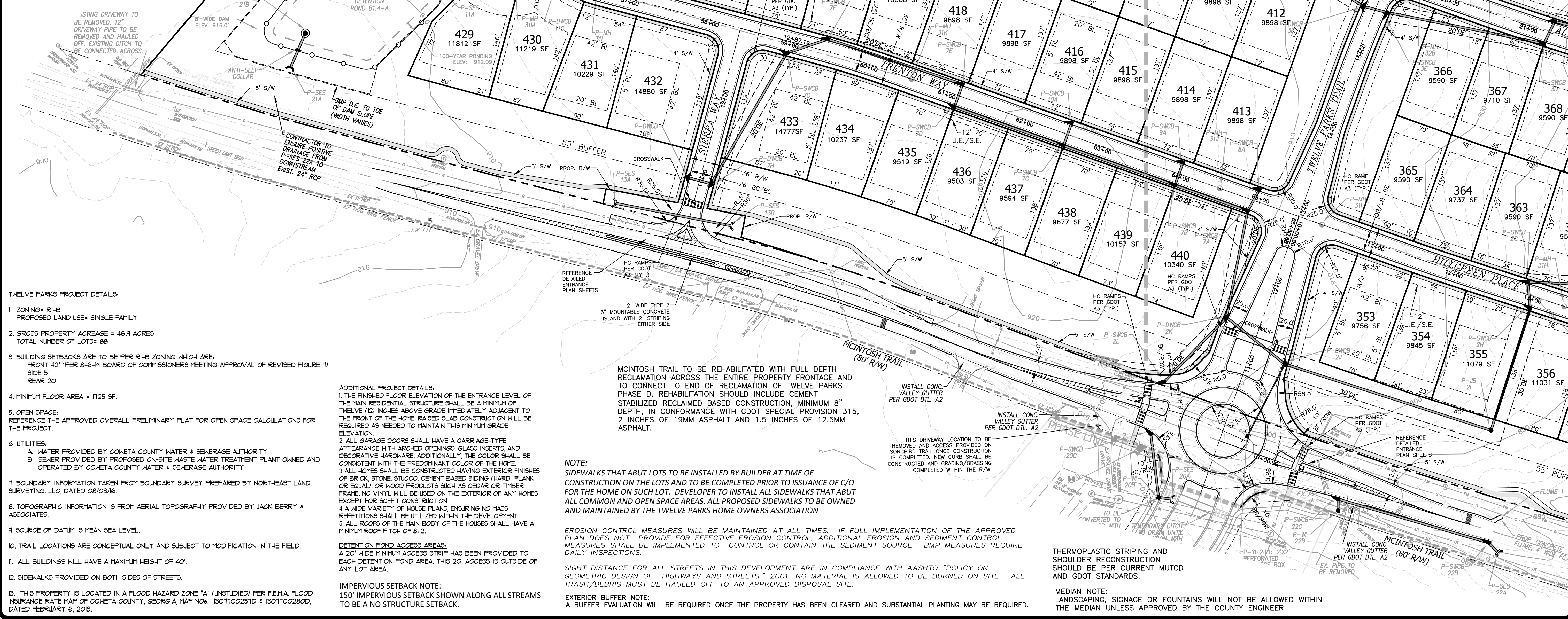
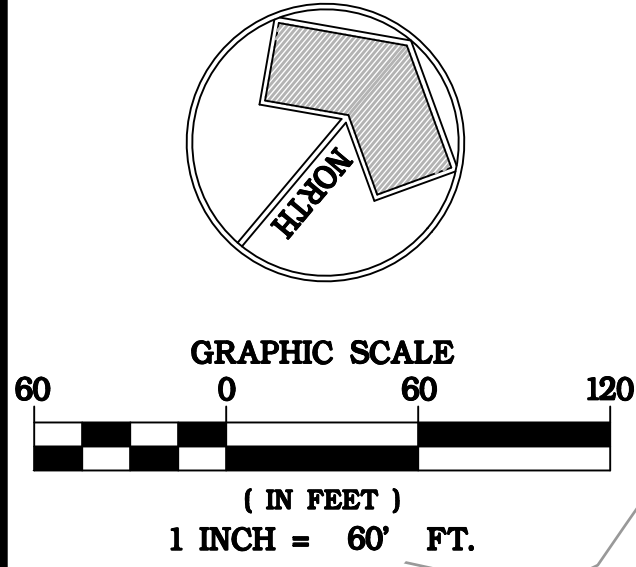
THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

NOTE: LAYOUT OF ALL SITE CONSTRUCTION SHALL BE PERFORMED BY AN EXPERIENCED GEORGIA REGISTERED LAND SURVEYOR.

NOTE: PUBLIC IMPROVEMENTS SUCH AS MAILBOX KIOSK ACCESS SHALL MEET THE ADA DESIGN GUIDELINES AND GEORGIA ACCESSIBILITY CODE.

EXTERIOR BUFFER NOTE:
 A BUFFER EVALUATION WILL BE NEEDED AND ADDITIONAL PLANTING MAY BE REQUIRED PRIOR TO FINAL PLAT APPROVAL.

NOTE:
 TEMPORARY CUL-DE-SACS & TEMPORARY ACCESS DRIVE ARE TO BE FULLY STABILIZED, PROOF ROLLED, AND APPROVED BY THE DEVELOPMENT INSPECTOR. NOTE THAT PERMITEE AGREES TO MAINTAIN EACH TEMPORARY CUL-DE-SACS ARE CONSTRUCTED.



- TWELVE PARKS PROJECT DETAILS:**
- ZONING= RI-B
 PROPOSED LAND USE= SINGLE FAMILY
 - GROSS PROPERTY ACREAGE = 46.9 ACRES
 TOTAL NUMBER OF LOTS= 88
 - BUILDING SETBACKS ARE TO BE PER RI-B ZONING WHICH ARE:
 FRONT 42' (PER 8-6-14 BOARD OF COMMISSIONERS MEETING APPROVAL OF REVISED FIGURE 7) SIDE 5'
 REAR 20'
 - MINIMUM FLOOR AREA = 1125 SF.
 - OPEN SPACE:
 REFERENCE THE APPROVED OVERALL PRELIMINARY PLAT FOR OPEN SPACE CALCULATIONS FOR THE PROJECT.
 - UTILITIES:
 A. WATER PROVIDED BY CONETA COUNTY WATER & SEWERAGE AUTHORITY
 B. SEWER PROVIDED BY PROPOSED ON-SITE WASTE WATER TREATMENT PLANT OWNED AND OPERATED BY CONETA COUNTY WATER & SEWERAGE AUTHORITY
 - BOUNDARY INFORMATION TAKEN FROM BOUNDARY SURVEY PREPARED BY NORTHEAST LAND SURVEYING, LLC, DATED 08/03/16.
 - TOPOGRAPHIC INFORMATION IS FROM AERIAL TOPOGRAPHY PROVIDED BY JACK BERRY & ASSOCIATES.
 - SOURCE OF DATUM IS MEAN SEA LEVEL.
 - TRAIL LOCATIONS ARE CONCEPTUAL ONLY AND SUBJECT TO MODIFICATION IN THE FIELD.
 - ALL BUILDINGS WILL HAVE A MAXIMUM HEIGHT OF 40'.
 - SIDEWALKS PROVIDED ON BOTH SIDES OF STREETS.
 - THIS PROPERTY IS LOCATED IN A FLOOD HAZARD ZONE "A" (UNSTUDIED) PER FEMA FLOOD INSURANCE RATE MAP OF CONETA COUNTY, GEORGIA, MAP No. 13071C0251D & 13071C0280D, DATED FEBRUARY 6, 2013.

ADDITIONAL PROJECT DETAILS:

- THE FINISHED FLOOR ELEVATION OF THE ENTRANCE LEVEL OF THE MAIN RESIDENTIAL STRUCTURE SHALL BE A MINIMUM OF TWELVE (12) INCHES ABOVE GRADE IMMEDIATELY ADJACENT TO THE FRONT OF THE HOME. RAISED SLAB CONSTRUCTION WILL BE REQUIRED AS NEEDED TO MAINTAIN THIS MINIMUM GRADE ELEVATION.
- ALL GARAGE DOORS SHALL HAVE A CARRIAGE-TYPE APPEARANCE WITH ARCHED OPENINGS, GLASS INSERTS, AND DECORATIVE HARDWARE. ADDITIONALLY, THE COLOR SHALL BE CONSISTENT WITH THE PREDOMINANT COLOR OF THE HOME.
- ALL HOMES SHALL BE CONSTRUCTED HAVING EXTERIOR FINISHES OF BRICK, STUCCO, CEMENT BASED SIDING (HARD PLANK OR EQUAL), OR WOOD PRODUCTS SUCH AS CEDAR OR TYPICAL TRIM. NO VINYL WILL BE USED ON THE EXTERIOR OF ANY HOMES EXCEPT FOR SOFFIT CONSTRUCTION.
- A WIDE VARIETY OF HOUSE PLANS, ENSURING NO MASS REPETITIONS SHALL BE UTILIZED WITHIN THE DEVELOPMENT.
- ALL ROOFS OF THE MAIN BODY OF THE HOMES SHALL HAVE A MINIMUM ROOF PITCH OF 8:12.

DETENTION POND ACCESS AREAS:
 A 20' WIDE MINIMUM ACCESS STRIP HAS BEEN PROVIDED TO EACH DETENTION POND AREA. THIS 20' ACCESS IS OUTSIDE OF ANY LOT AREA.

IMPERVIOUS SETBACK NOTE:
 150' IMPERVIOUS SETBACK SHOWN ALONG ALL STREAMS TO BE A NO STRUCTURE SETBACK.

MCINTOSH TRAIL TO BE REHABILITATED WITH FULL DEPTH RECLAMATION ACROSS THE ENTIRE PROPERTY FRONTAGE AND TO CONNECT TO END OF RECLAMATION OF TWELVE PARKS PHASE D. REHABILITATION SHOULD INCLUDE CEMENT STABILIZED RECLAIMED BASED CONSTRUCTION, MINIMUM 8" DEPTH, IN CONFORMANCE WITH GDOT SPECIAL PROVISION 315, 2" INCHES OF 19MM ASPHALT AND 1.5 INCHES OF 12.5MM ASPHALT.

NOTE:
 SIDEWALKS THAT ABUT LOTS TO BE INSTALLED BY BUILDER AT TIME OF CONSTRUCTION ON THE LOTS AND TO BE COMPLETED PRIOR TO ISSUANCE OF C/O FOR THE HOME ON SUCH LOT. DEVELOPER TO INSTALL ALL SIDEWALKS THAT ABUT ALL COMMON AND OPEN SPACE AREAS. ALL PROPOSED SIDEWALKS TO BE OWNED AND MAINTAINED BY THE TWELVE PARKS HOME OWNERS ASSOCIATION

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR CONTAIN THE SEDIMENT SOURCE. BMP MEASURES REQUIRE DAILY INSPECTIONS.

SIGHT DISTANCE FOR ALL STREETS IN THIS DEVELOPMENT ARE IN COMPLIANCE WITH AASHTO "POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS." 2001. NO MATERIAL IS ALLOWED TO BE BURNED ON SITE. ALL TRASH/DEBRIS MUST BE HAULED OFF TO AN APPROVED DISPOSAL SITE.

EXTERIOR BUFFER NOTE:
 A BUFFER EVALUATION WILL BE REQUIRED ONCE THE PROPERTY HAS BEEN CLEARED AND SUBSTANTIAL PLANTING MAY BE REQUIRED.

THERMOPLASTIC STRIPING AND SHOULDER RECONSTRUCTION SHOULD BE PER CURRENT MUTCD AND GDOT STANDARDS.

MEDIAN NOTE:
 LANDSCAPING, SIGNAGE OR FOUNTAINS WILL NOT BE ALLOWED WITHIN THE MEDIAN UNLESS APPROVED BY THE COUNTY ENGINEER.



CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
SITE PLANNING

P.O. BOX 848
 BUFORD, GA 30515
 (770) 271-4676 ph.
 (770) 369-8568 fax
 www.daydesigngroup.com
 ddg@daydesigngroup.com

DAY DESIGN GROUP, Inc.

PRELIMINARY PLAT FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOCATED IN LAND LOTS 151-152
 1ST DISTRICT - CONETA COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS
5	11/22/23	CONTRACTOR COMMENTS AND REVISIONS PER COUNTY COMMENTS
4	06/12/23	REVISIONS PER COUNTY COMMENTS
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET **3A** OF **25**

NOTE:
SIDEWALKS THAT ABUT LOTS TO BE INSTALLED BY BUILDER AT TIME OF CONSTRUCTION ON THE LOTS AND TO BE COMPLETED PRIOR TO ISSUANCE OF C/O FOR THE HOME ON SUCH LOT. DEVELOPER TO INSTALL ALL SIDEWALKS THAT ABUT ALL COMMON AND OPEN SPACE AREAS. ALL PROPOSED SIDEWALKS TO BE OWNED AND MAINTAINED BY THE TWELVE PARKS HOME OWNERS ASSOCIATION

IMPERVIOUS SETBACK NOTE:
150' IMPERVIOUS SETBACK SHOWN ALONG ALL STREAMS TO BE A NO STRUCTURE SETBACK.

DETENTION POND ACCESS AREAS:
A 20' WIDE MINIMUM ACCESS STRIP HAS BEEN PROVIDED TO EACH DETENTION POND AREA. THIS 20' ACCESS IS OUTSIDE OF ANY LOT AREA.

SIGN & STRIPING NOTES:
-ALL SIGNS SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS AND COMETA COUNTY FOR COLOR, SIZE, REFLECTIVITY, HEIGHT AND PLACEMENT.
-STRIPING (WHITE AND YELLOW) AND ARROW MARKING SHALL BE APPLIED USING COMETA COUNTY OR GEORGIA DOT STANDARD THERMOPLASTIC.
-ALL SIGNS MUST BE INSTALLED CONCURRENTLY WITH THE PERFORMANCE OF THE STRIPING WORK.

ACCESS PLAN NOTES:
-SAW CUT REQUIRED AT EDGE OF EXISTING PAVEMENT TO PROVIDE JOINT UNIFORMITY.
-ALL TEMPORARY TRAFFIC CONTROL MUST BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

MULTI-USE TRAIL NOTE:
5' WIDE MULTI-USE TRAIL SHOWN TO BE COMPOSED OF A COMPACTED SURFACE OF NATURAL NATIVE SOIL MATERIAL REMAINING UPON CLEARING. DEVELOPER TO CLEAR A 6' WIDE AREA ALONG THE TRAIL AS WELL AS A 7' HIGH AREA FOR ANY LIMB REMOVAL NEEDED FOR TRAIL ACCESS. ALL STUMPS TO BE REMOVED WITHIN TRAIL AREA.



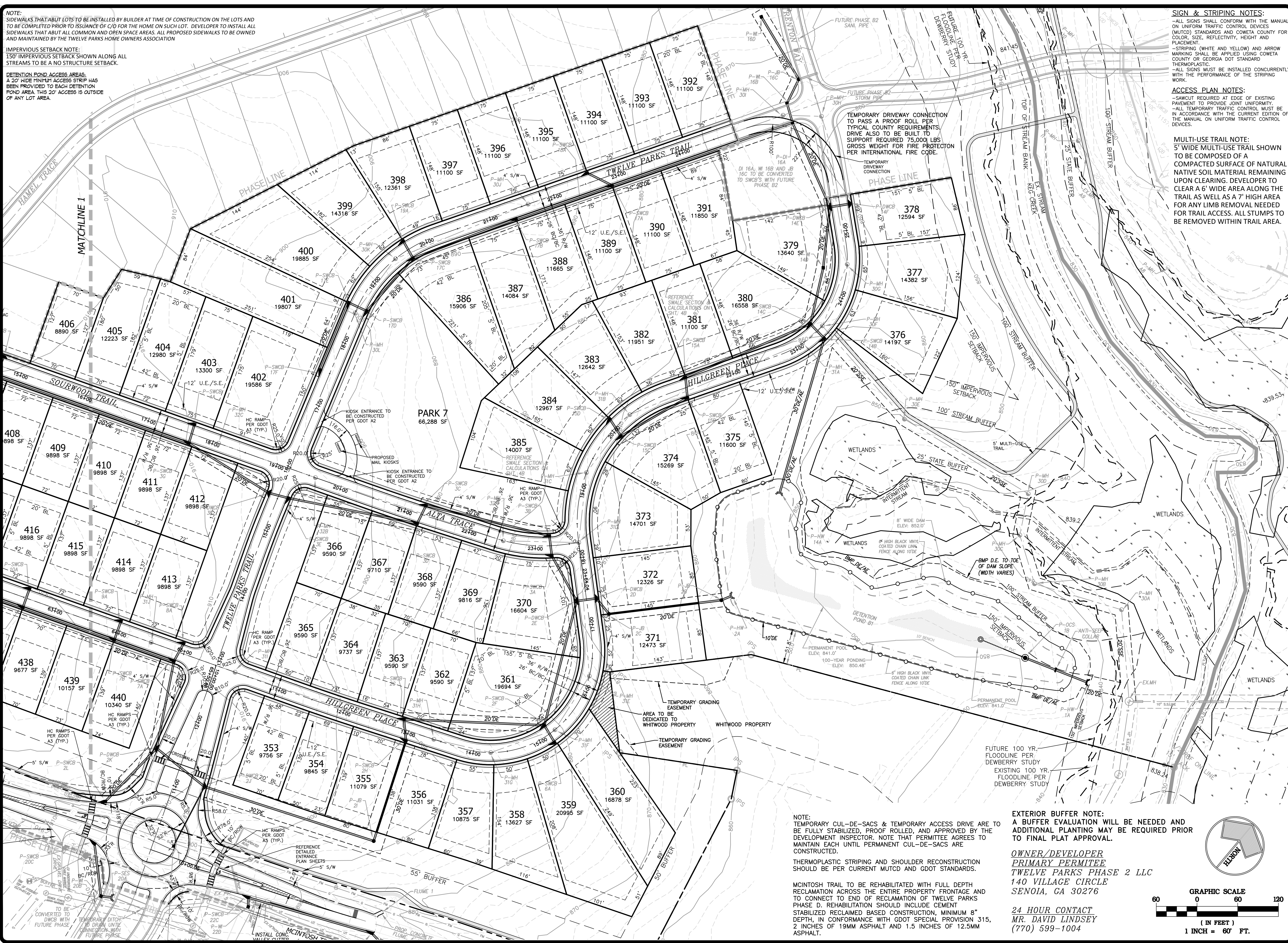
**CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
SITE PLANNING**

**DAY
DESIGN
GROUP, Inc.**

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BUFORD, GA 30515
(770) 971-4876 ph.
(770) 369-8568 fax
www.daydesigngroup.com

**PRELIMINARY PLAT
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT**

1ST DISTRICT - LAND LOTS 151-152
COMETA COUNTY, GEORGIA



NOTE:
TEMPORARY CUL-DE-SACS & TEMPORARY ACCESS DRIVE ARE TO BE FULLY STABILIZED, PROOF ROLLED, AND APPROVED BY THE DEVELOPMENT INSPECTOR. NOTE THAT PERMITEE AGREES TO MAINTAIN EACH UNTIL PERMANENT CUL-DE-SACS ARE CONSTRUCTED.

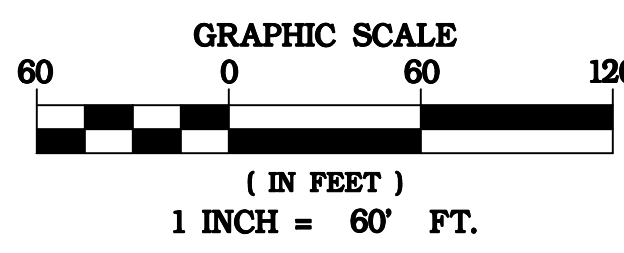
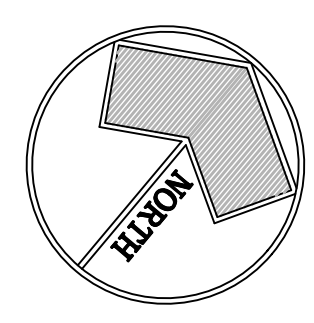
THERMOPLASTIC STRIPING AND SHOULDER RECONSTRUCTION SHOULD BE PER CURRENT MUTCD AND GDOT STANDARDS.

MCINTOSH TRAIL TO BE REHABILITATED WITH FULL DEPTH RECLAMATION ACROSS THE ENTIRE PROPERTY FRONTAGE AND TO CONNECT TO END OF RECLAMATION OF TWELVE PARKS PHASE D. REHABILITATION SHOULD INCLUDE CEMENT STABILIZED RECLAIMED BASED CONSTRUCTION, MINIMUM 8" DEPTH, IN CONFORMANCE WITH GDOT SPECIAL PROVISION 315, 2 INCHES OF 19MM ASPHALT AND 1.5 INCHES OF 12.5MM ASPHALT.

EXTERIOR BUFFER NOTE:
A BUFFER EVALUATION WILL BE NEEDED AND ADDITIONAL PLANTING MAY BE REQUIRED PRIOR TO FINAL PLAT APPROVAL.

**OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276**

**24 HOUR CONTACT
MR. DAVID LINDSEY
(770) 599-1004**



NO.	DATE	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS
5	11/22/23	CONTRACT COMMENTS AND REVISIONS PER COUNTY COMMENTS
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2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET **3B** OF **25**

OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
 140 VILLAGE CIRCLE
 SENOIA, GA 30276

24 HOUR CONTACT
MR. DAVID LINDSEY
 (770) 599-1004

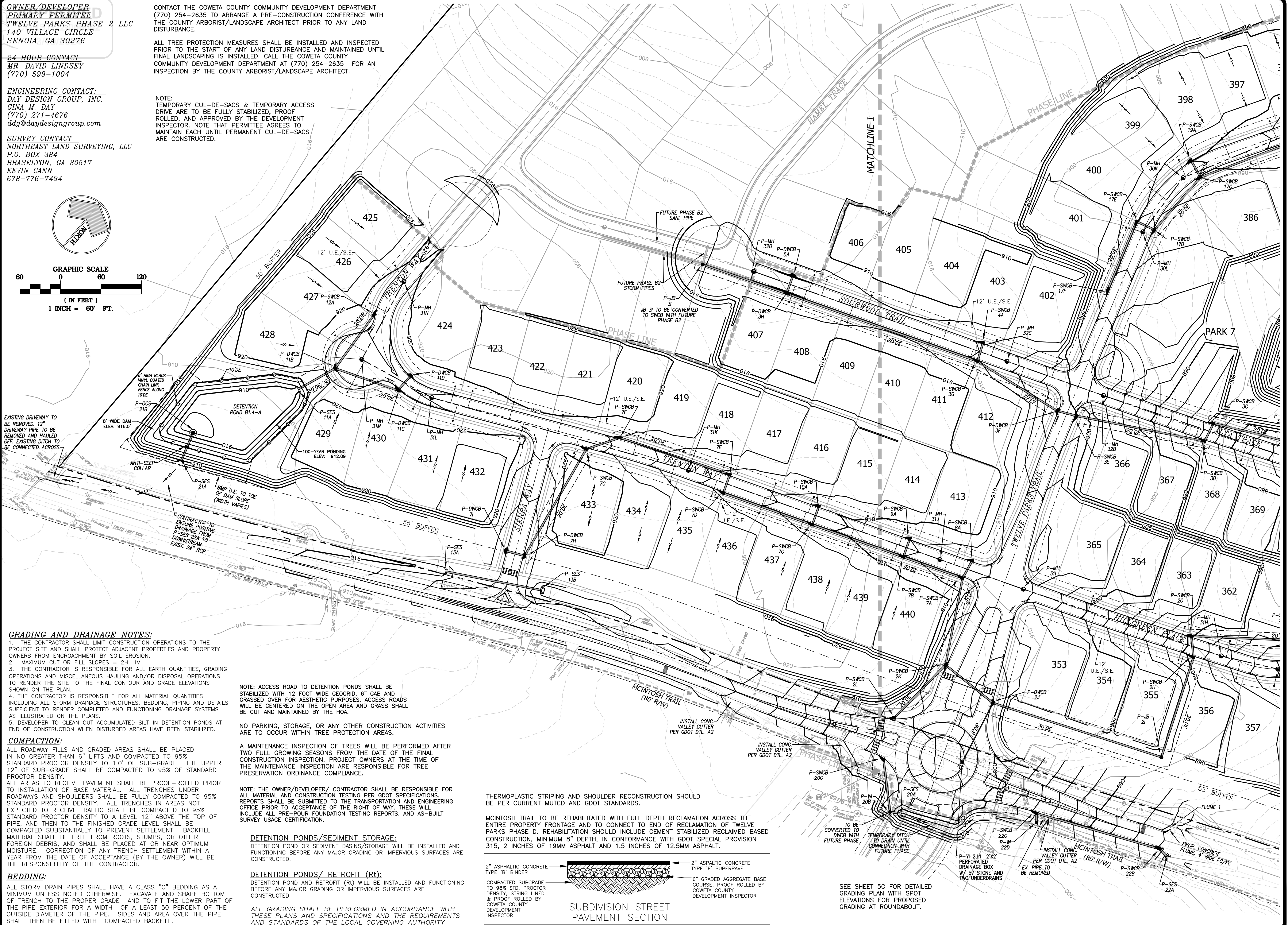
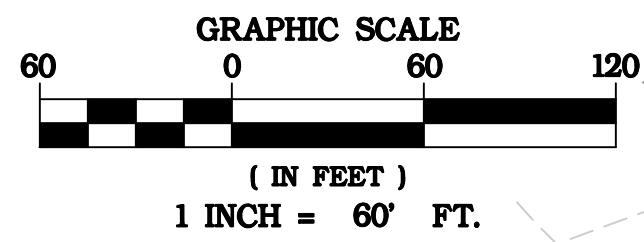
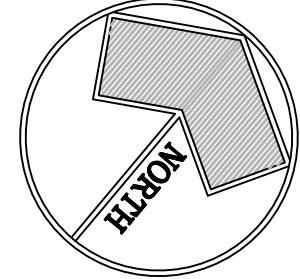
ENGINEERING CONTACT:
DAY DESIGN GROUP, INC.
CINA M. DAY
 (770) 271-4676
 ddg@daydesigngroup.com

SURVEY CONTACT
NORTHEAST LAND SURVEYING, LLC
 P.O. BOX 384
 BRASELTON, GA 30517
 KEVIN CANN
 678-776-7494

CONTACT THE COWETA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT (770) 254-2635 TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY ARBORIST/LANDSCAPE ARCHITECT PRIOR TO ANY LAND DISTURBANCE.

ALL TREE PROTECTION MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. CALL THE COWETA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT AT (770) 254-2635 FOR AN INSPECTION BY THE COUNTY ARBORIST/LANDSCAPE ARCHITECT.

NOTE:
 TEMPORARY CUL-DE-SACS & TEMPORARY ACCESS DRIVE ARE TO BE FULLY STABILIZED, PROOF ROLLED, AND APPROVED BY THE DEVELOPMENT INSPECTOR. NOTE THAT PERMITEE AGREES TO MAINTAIN EACH UNTIL PERMANENT CUL-DE-SACS ARE CONSTRUCTED.



GRADING AND DRAINAGE NOTES:

1. THE CONTRACTOR SHALL LIMIT CONSTRUCTION OPERATIONS TO THE PROJECT SITE AND SHALL PROTECT ADJACENT PROPERTIES AND PROPERTY OWNERS FROM ENCROACHMENT BY SOIL EROSION.
2. MAXIMUM CUT OR FILL SLOPES = 2H: 1V.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL EARTH QUANTITIES, GRADING OPERATIONS AND MISCELLANEOUS HAULING AND/OR DISPOSAL OPERATIONS TO RENDER THE SITE TO THE FINAL CONTOUR AND GRADE ELEVATIONS SHOWN ON THE PLAN.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL QUANTITIES INCLUDING ALL STORM DRAINAGE STRUCTURES, BEDDING, PIPING AND DETAILS SUFFICIENT TO RENDER COMPLETED AND FUNCTIONING DRAINAGE SYSTEMS AS ILLUSTRATED ON THE PLANS.
5. DEVELOPER TO CLEAN OUT ACCUMULATED SILT IN DETENTION PONDS AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.

COMPACTION:

ALL ROADWAY FILLS AND GRADED AREAS SHALL BE PLACED IN NO GREATER THAN 6" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY TO 1.0' OF SUB-GRADE. THE UPPER 12" OF SUB-GRADE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
 ALL AREAS TO RECEIVE PAVEMENT SHALL BE PROOF-ROLLED PRIOR TO INSTALLATION OF BASE MATERIAL. ALL TRENCHES UNDER ROADWAYS AND SHOULDERS SHALL BE FULLY COMPACTED TO 95% STANDARD PROCTOR DENSITY. ALL TRENCHES IN AREAS NOT EXPECTED TO RECEIVE TRAFFIC SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY TO A LEVEL 12" ABOVE THE TOP OF PIPE, AND THEN TO THE FINISHED GRADE LEVEL SHALL BE COMPACTED SUBSTANTIALLY TO PREVENT SETTLEMENT. BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS, AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF ACCEPTANCE (BY THE OWNER) WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

BEDDING:

ALL STORM DRAIN PIPES SHALL HAVE A CLASS "C" BEDDING AS A MINIMUM UNLESS NOTED OTHERWISE. EXCAVATE AND SHAPE BOTTOM OF TRENCH TO THE PROPER GRADE AND TO FIT THE LOWER PART OF THE PIPE EXTERIOR FOR A WIDTH OF AT LEAST 50 PERCENT OF THE OUTSIDE DIAMETER OF THE PIPE. SIDES AND AREA OVER THE PIPE SHALL THEN BE FILLED WITH COMPACTED BACKFILL.

NOTE: ACCESS ROAD TO DETENTION PONDS SHALL BE STABILIZED WITH 12 FOOT WIDE GEOGRID, 6" GAB AND GRASSSED OVER FOR AESTHETIC PURPOSES. ACCESS ROADS WILL BE CENTERED ON THE OPEN AREA AND GRASS SHALL BE CUT AND MAINTAINED BY THE HOA.

NO PARKING, STORAGE, OR ANY OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.

A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR TREE PRESERVATION ORDINANCE COMPLIANCE.

NOTE: THE OWNER/DEVELOPER/ CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIAL AND CONSTRUCTION TESTING PER GDOT SPECIFICATIONS. REPORTS SHALL BE SUBMITTED TO THE TRANSPORTATION AND ENGINEERING OFFICE PRIOR TO ACCEPTANCE OF THE RIGHT OF WAY. THESE WILL INCLUDE ALL PRE-POUR FOUNDATION TESTING REPORTS, AND AS-BUILT SURVEY USAGE CERTIFICATION.

DETENTION PONDS/SEDIMENT STORAGE:
 DETENTION POND OR SEDIMENT BASIN/STORAGE WILL BE INSTALLED AND FUNCTIONING BEFORE ANY MAJOR GRADING OR IMPERVIOUS SURFACES ARE CONSTRUCTED.

DETENTION PONDS/ RETROFIT (RT):
 DETENTION POND AND RETROFIT (RT) WILL BE INSTALLED AND FUNCTIONING BEFORE ANY MAJOR GRADING OR IMPERVIOUS SURFACES ARE CONSTRUCTED.

ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.

THERMOPLASTIC STRIPING AND SHOULDER RECONSTRUCTION SHOULD BE PER CURRENT MUTCD AND GDOT STANDARDS.

MCINTOSH TRAIL TO BE REHABILITATED WITH FULL DEPTH RECLAMATION ACROSS THE ENTIRE PROPERTY FRONTAGE AND TO CONNECT TO END OF RECLAMATION OF TWELVE PARKS PHASE D. REHABILITATION SHOULD INCLUDE CEMENT STABILIZED RECLAIMED BASE CONSTRUCTION, MINIMUM 8" DEPTH, IN CONFORMANCE WITH GDOT SPECIAL PROVISION 315, 2 INCHES OF 19MM ASPHALT AND 1.5 INCHES OF 12.5MM ASPHALT.



SEE SHEET 5C FOR DETAILED GRADING PLAN WITH SPOT ELEVATIONS FOR PROPOSED GRADING AT ROUNDABOUT.



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DAY DESIGN GROUP, Inc.

TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
 OVERALL GRADING PLAN FOR
 1ST DISTRICT - LAND LOTS 151-152
 COWETA COUNTY, GEORGIA

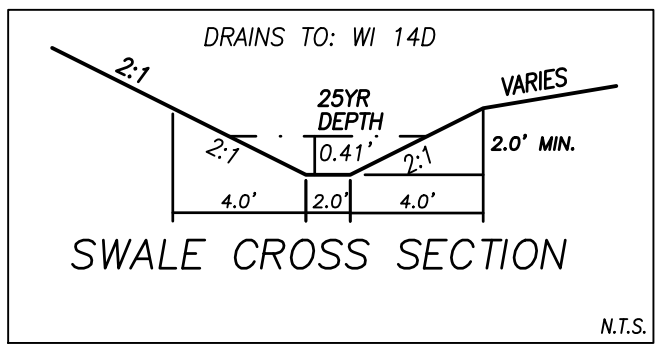
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DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET **4A** OF **25**

OWNER/DEVELOPER
 PRIMARY PERMITEE
 TWELVE PARKS PHASE 2 LLC
 140 VILLAGE CIRCLE
 SENOIA, GA 30276

24 HOUR CONTACT
 MR. DAVID LINDSEY
 (770) 599-1004



SWALE CHANNEL CALCULATIONS:
 CONTRIBUTING DRAINAGE AREA = 1.19 AC
 RUNOFF COEFFICIENT = 0.46
 MANNINGS COEFFICIENT = 0.03
 LENGTH OF CHANNEL = 849 L.F.
 CONVEYANCE SIZE = 2 FEET
 MINIMUM DEPTH = 2 FEET
 LINING MATERIAL = COCONUT FIBER MATTING
 WITH PERMANENT BERMUDA GRASS SEEDING
 CHANNEL SLOPE = 2.65%
 25 YEAR STORM FREQUENCY = 8.45
 25 YEAR FLOW = 4.62 CFS
 25 YEAR FLOW DEPTH = 0.41'
 25 YR VELOCITY = 3.62 ft/s



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 LANDSCAPE ARCHITECTURE
 SITE PLANNING
 P.O. BOX 848
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 www.doydesigngroup.com

DAY
 DESIGN
 GROUP, Inc.

OVERALL GRADING PLAN
 FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOCATED IN
 1ST DISTRICT - LAND LOTS 151-152
 COWETA COUNTY, GEORGIA

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 DRAWN BY: GMD
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 SHEET **4B** OF **25**



REFERENCE SWALE SECTION & CALCULATIONS ON SHEET 4B

REFERENCE SWALE SECTION & CALCULATIONS ON SHEET 4B

SEE SHEET 5C FOR DETAILED GRADING PLAN WITH SPOT ELEVATIONS FOR PROPOSED GRADING AT ROUNDABOUT.

NOTE:
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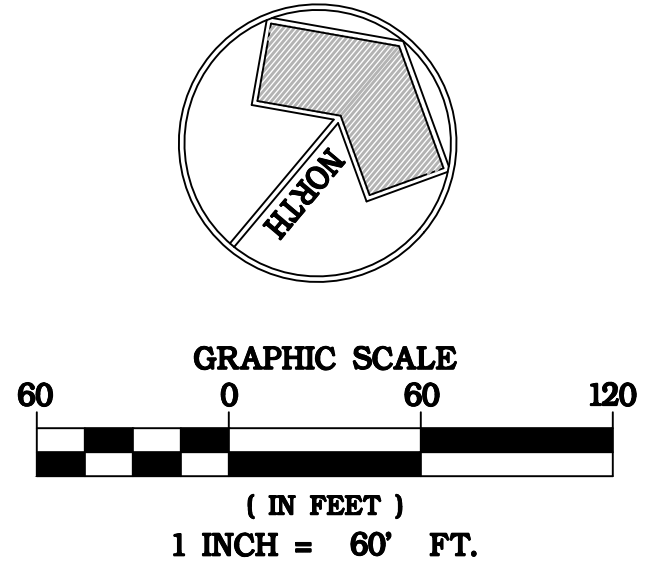
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CONTACT THE COWETA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT (770) 254-2635 TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY ARBORIST/LANDSCAPE ARCHITECT PRIOR TO ANY LAND DISTURBANCE.

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APPROVED
 COUNTY ENGINEER
 1/2" RBF ON LINE



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OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
 140 VILLAGE CIRCLE
 SENOIA, GA 30276

24 HOUR CONTACT
MR. DAVID LINDSEY
 (770) 599-1004

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OVERALL GRADING PLAN
 FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOCATED IN
 1ST DISTRICT - LAND LOTS 151-152
 COWETA COUNTY, GEORGIA

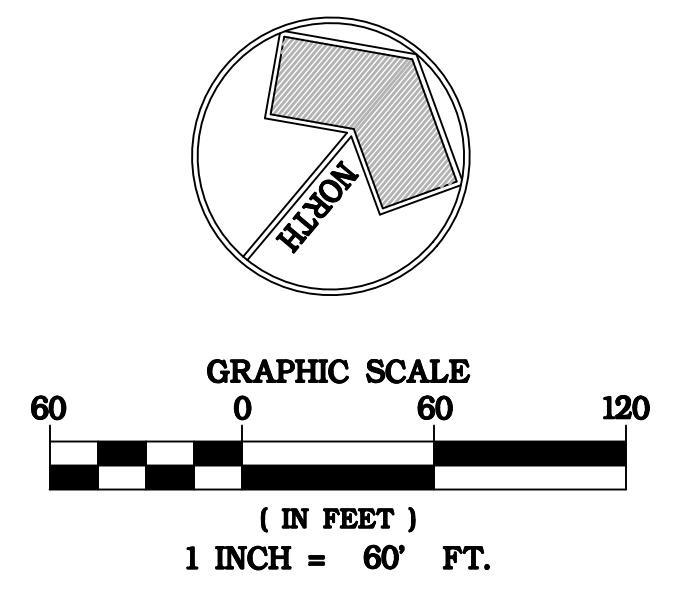
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DATE: 04/10/23
 DRAWN BY: GMD
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SHEET **4C** OF **25**



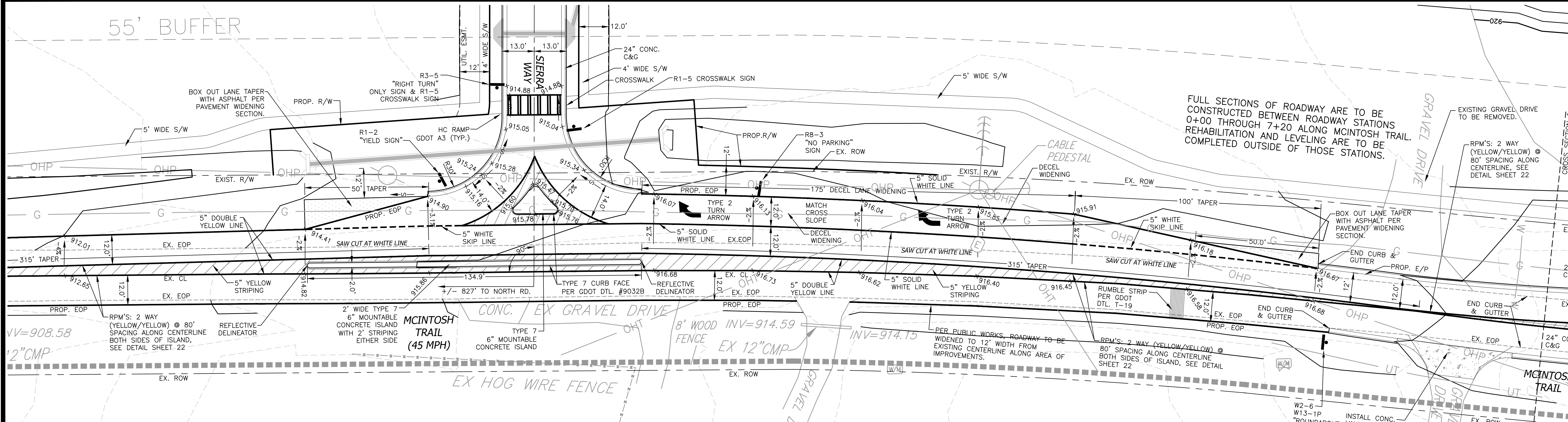
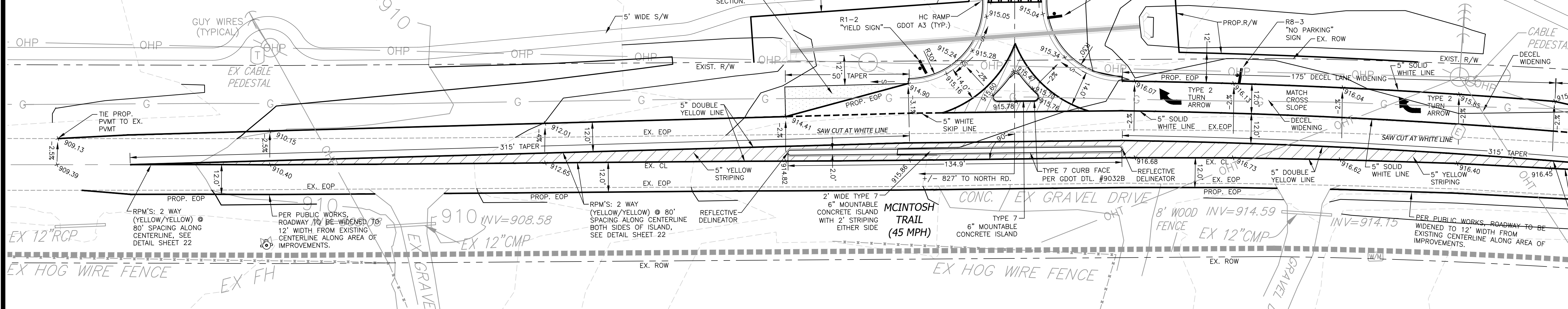
EARTHWORK ESTIMATE:
 CUT: 155,128 CY; FILL: 154,006 CY
 1,122 CY (WASTE)
 *A DROP OF 10" FOR SUBGRADE
 *ALL TOPSOIL INCLUDED IN BALANCE
 *EARTHWORK ESTIMATE PROVIDED FOR CONVENIENCE TO CONTRACTOR. CONTRACTOR TO VERIFY QUANTITIES.



APPROVED
CONST-22-100042
3/19/2024

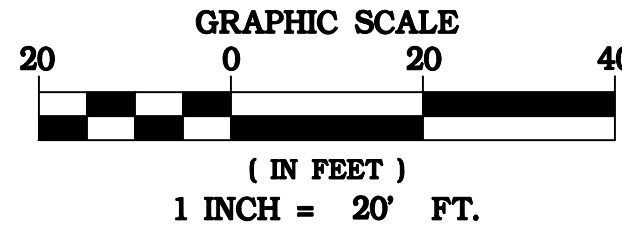
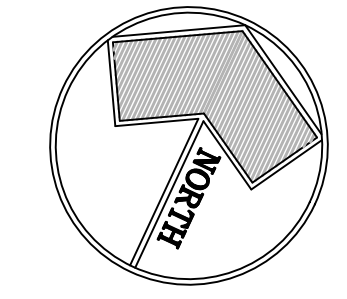
NOTE: NO WORK WITHIN THE ROW TO BE PERFORMED UNTIL UTILITY RELOCATION PLANS AND PERMITS HAVE BEEN OBTAINED.

NOTE: TOPOGRAPHY SHOWN ALONG THE ENTRANCE IMPROVEMENTS IS FIELD RUN SURVEY.



Utilities Protection Center, Inc
811 or 1-800-282-7411

Know what's below.
Call before you dig.



NOTE:
MCINTOSH TRAIL TO BE REHABILITATED WITH FULL DEPTH RECLAMATION ACROSS THE ENTIRE PROPERTY FRONTAGE AND TO CONNECT TO THE END OF RECLAMATION OF TWELVE PARKS PHASE D. HOWEVER, FROM STATIONS 0+00 THROUGH 7+20 ALONG MCINTOSH ROUNDABOUT AREA, FULL SECTIONS OF ROADWAY ARE TO BE CONSTRUCTED WITH LEVELING OUTSIDE OF THOSE STATIONS.

RECLAMATION SPECIFICATION:
REHABILITATION SHOULD INCLUDE CEMENT STABILIZED RECLAIMED BASED CONSTRUCTION, MINIMUM 8" DEPTH, IN CONFORMANCE WITH GDOT SPECIAL PROVISION 315, 2 INCHES OF 19MM ASPHALT AND 1.5 INCHES OF 12.5MM ASPHALT.

THERMOPLASTIC STRIPING AND SHOULDER RECONSTRUCTION SHOULD BE PER CURRENT MUTCD AND GDOT STANDARDS.

NOTE:
THE FINAL ASPHALT TOPPING SHALL BE UNIFORM ACROSS ALL REHABILITATED AND WIDENED SECTIONS OF ROADWAY. NO LONGITUDINAL JOINTS WILL BE ALLOWED WITHIN LANE.



SIGHT DISTANCE CERTIFICATION
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED ENTRANCE AND ALL INTERIOR STREETS FOR THE TWELVE PARKS PHASE B1 SUBDIVISION PROJECT ARE DESIGNED WITH ADEQUATE CORNER SIGHT DISTANCE FOR EACH INTERSECTION. THE REGULATED SPEED LIMIT AT THE ENTRANCE IS 45 MILES PER HOUR. THE PROPOSED ENTRANCE IS CONFIGURED AS RIGHT IN & RIGHT OUT ONLY. THE SIGHT DISTANCE AT THE ENTRANCE IS >500 FEET IN THE EAST DIRECTION. THE CORNER SIGHT DISTANCE PROVIDED FROM THE ENTRANCE IS EQUAL TO OR EXCEEDS THE 500 FEET OF SIGHT DISTANCE REQUIRED. THE REGULATED SPEED LIMIT FOR INTERIOR STREETS IS 25 MILES PER HOUR. THE SIGHT DISTANCE FOR ALL INTERIOR INTERSECTIONS MEETS OR EXCEEDS 280 FEET IN EACH DIRECTION. SIGHT DISTANCE IS MEASURED WITH THE DRIVER'S EYE HEIGHT OF 3.5' AT A DISTANCE OF 15 FEET FROM THE NEAREST THROUGH LANE TO THE CENTER OF EACH TRAVEL LANE.

Me M Day
GINA M. DAY
DATE: 07-07-22

NOTE:
CONTRACTOR TO CLEAR ANY TREES NECESSARY FOR ADEQUATE SIGHT DISTANCE AT PROPOSED ENTRANCES.

OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276

24 HOUR CONTACT
MR. DAVID LINDSEY
(770) 599-1004

INSPECTION NOTE:
PERMITEE/CONTRACTOR SHALL CONTACT THE COWETA COUNTY DEVELOPMENT INSPECTOR AT 770-254-2635 A MINIMUM OF 24 HOURS PRIOR TO ANY WORK PERFORMED WITHIN THE ROW. FAILURE TO COMMUNICATE EFFECTIVELY WILL RESULT IN WORK STOPPAGE AND CAN RESULT IN REMEDIAL WORK.



CIVIL ENGINEERING
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DAY
DESIGN
GROUP, Inc.

ENTRANCE LAYOUT & GRADING PLAN
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
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1	07/07/22	INITIAL DATE OF PLANS	

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

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5A 25

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CONST-22-000042
1/19/2024

NOTE: NO WORK WITHIN THE ROW TO BE PERFORMED UNTIL UTILITY RELOCATION PLANS AND PERMITS HAVE BEEN OBTAINED.

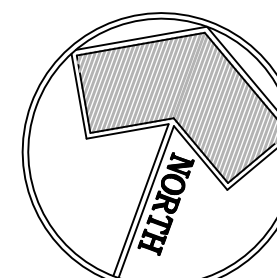
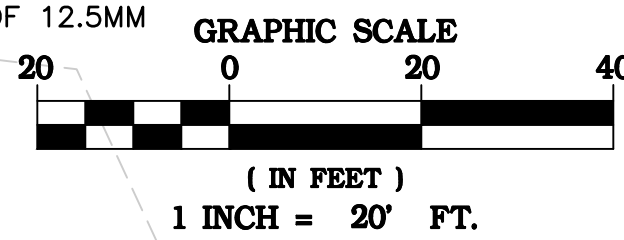
FULL SECTIONS OF ROADWAY ARE TO BE CONSTRUCTED BETWEEN ROADWAY STATIONS 0+00 THROUGH 7+20 ALONG MCINTOSH TRAIL. REHABILITATION AND LEVELING ARE TO BE COMPLETED OUTSIDE OF THOSE STATIONS.

STAGING PLANS NOTE:
STAGING PLANS FOR ROUNDABOUT CONSTRUCTION TO BE PROVIDED TO AND APPROVED BY COWETA COUNTY PUBLIC WORKS PRIOR TO ANY CONSTRUCTION TO BEGIN ON THE PROPOSED ROUNDABOUT.

NOTE: MCINTOSH TRAIL TO BE REHABILITATED WITH FULL DEPTH RECLAMATION ACROSS THE ENTIRE PROPERTY FRONTAGE AND TO CONNECT TO THE END OF RECLAMATION OF TWELVE PARKS PHASE D. HOWEVER, FROM STATIONS 0+00 THROUGH 7+20 ALONG MCINTOSH ROUNDABOUT AREA, FULL SECTIONS OF ROADWAY ARE TO BE CONSTRUCTED WITH LEVELING OUTSIDE OF THOSE STATIONS.

RECLAMATION SPECIFICATION:
REHABILITATION SHOULD INCLUDE CEMENT STABILIZED RECLAIMED BASED CONSTRUCTION, MINIMUM 8" DEPTH, IN CONFORMANCE WITH GDOT SPECIAL PROVISION 315, 2 INCHES OF 19MM ASPHALT AND 1.5 INCHES OF 12.5MM ASPHALT.

NOTE: TOPOGRAPHY SHOWN ALONG THE ENTRANCE IMPROVEMENTS IS FIELD RUN SURVEY.



OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276

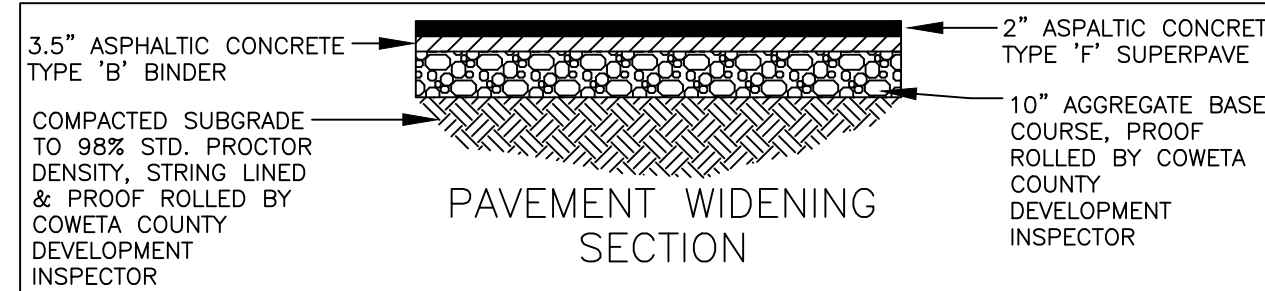
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(770) 599-1004

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www.Georgia811.com

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811 or 1-800-282-7411

Know what's below.
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NOTE:
CONTRACTOR TO CLEAR ANY TREES NECESSARY FOR ADEQUATE SIGHT DISTANCE AT PROPOSED ENTRANCES.



NOTES:
-ALL STRIPING TO BE THERMOPLASTIC
-ALL SIGNS TO BE LOCATED PER MUTCD STANDARDS
-STOP BARS TO BE PLACED A MIN. OF 5' FROM TRAVEL LANE
-ALL ROUNDABOUT SIGNING AND MARKING SHOULD BE PER GDOT ROUNDABOUT DESIGN GUIDE, FIGURE 5-2.

ROUNDABOUT PAVING:
THE ROUNDABOUT PAVEMENT STRUCTURE SHOULD MEET GDOT STANDARDS WITH HYDRATED LIME.

INSPECTION NOTE:
PERMITEE/CONTRACTOR SHALL CONTACT THE COWETA COUNTY DEVELOPMENT INSPECTOR AT 770-254-2635 A MINIMUM OF 24 HOURS PRIOR TO ANY WORK PERFORMED WITHIN THE ROW. FAILURE TO COMMUNICATE EFFECTIVELY WILL RESULT IN WORK STOPPAGE AND CAN RESULT IN REMEDIAL WORK.

THERMOPLASTIC STRIPING AND SHOULDER RECONSTRUCTION SHOULD BE PER CURRENT MUTCD AND GDOT STANDARDS.

NOTE:
ALL ROAD DIMENSIONS SHOWN ABOVE ARE EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

NOTE:
COORDINATE WITH POWER COMPANY AFTER PERMIT TO PREPARE LIGHTING PLAN PRIOR TO FINAL PLAT.

NOTE:
DETAILED LANDSCAPE PLAN FOR ROUNDABOUT AND ENTRANCES TO BE SUBMITTED SEPARATELY FOR APPROVAL BY COWETA COUNTY AFTER PERMIT.

CURVE 1	
PI	1+38.54
North	1216755.112
East	2155085.840
Δ	320.09'
CH	50.84
ARC	50.86
R	546.16
T	25.45

CURVE 2	
PI	3+23.18
North	1216833.976
East	2155252.835
Δ	928.31'
CH	49.56
ARC	49.61
R	300.00
T	24.86

CURVE 3	
PI	4+64.83
North	1216872.625
East	2155389.223
Δ	417.16'
CH	22.44
ARC	22.45
R	300.00
T	11.23

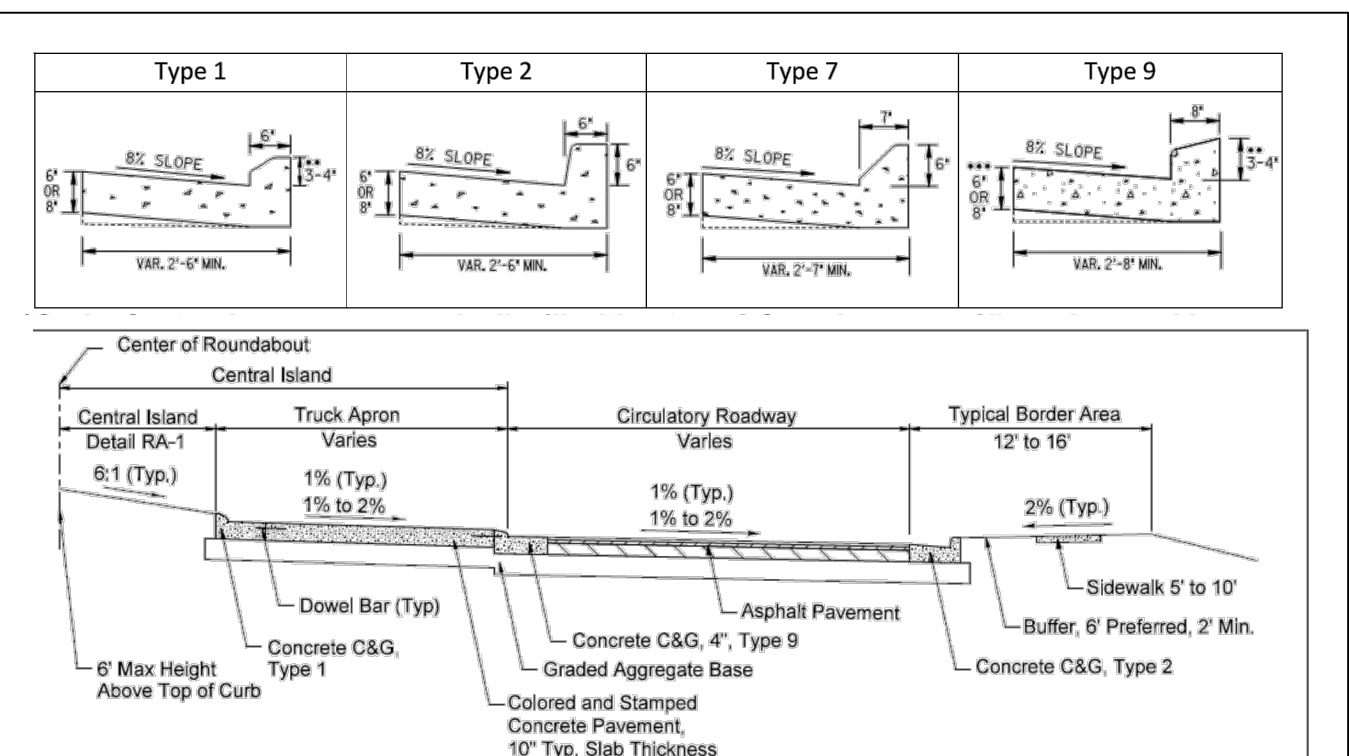
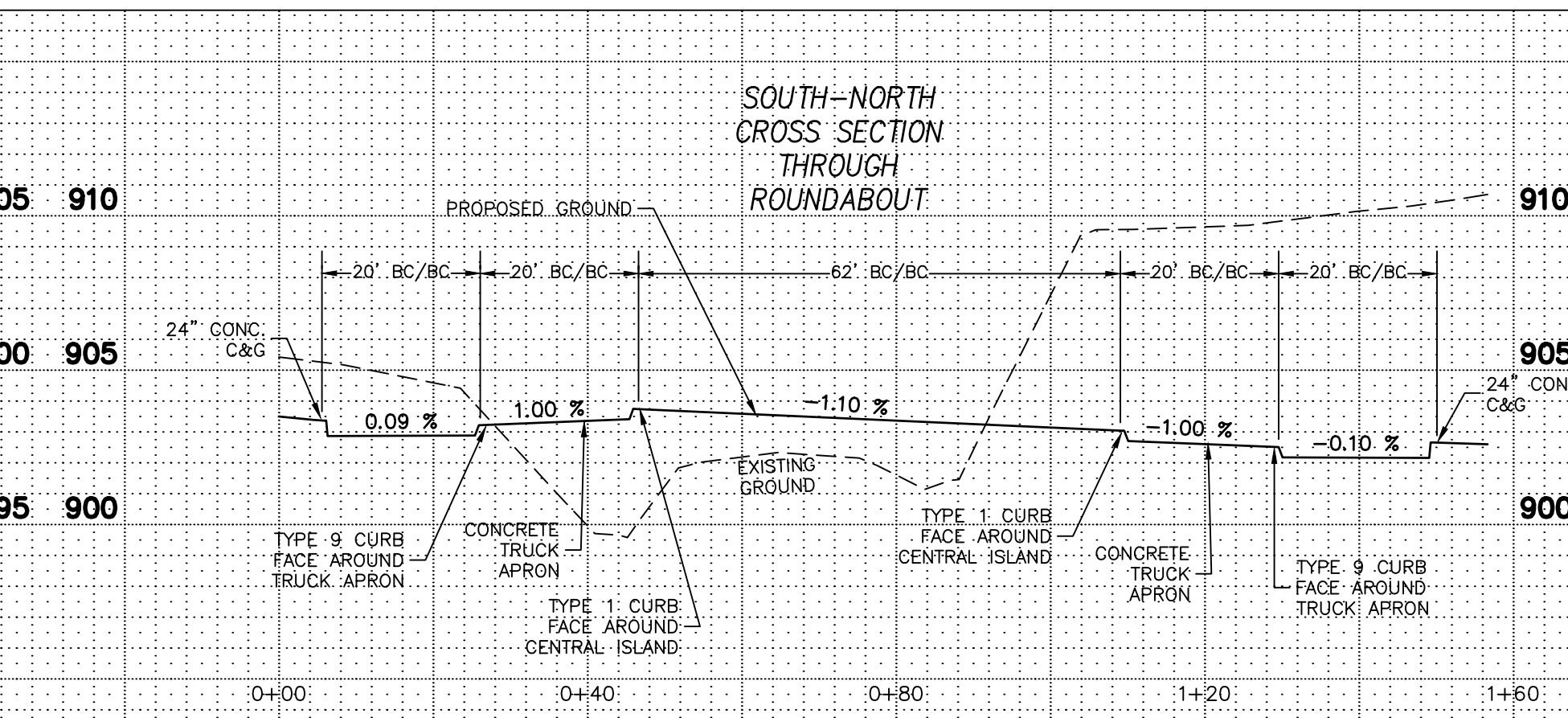
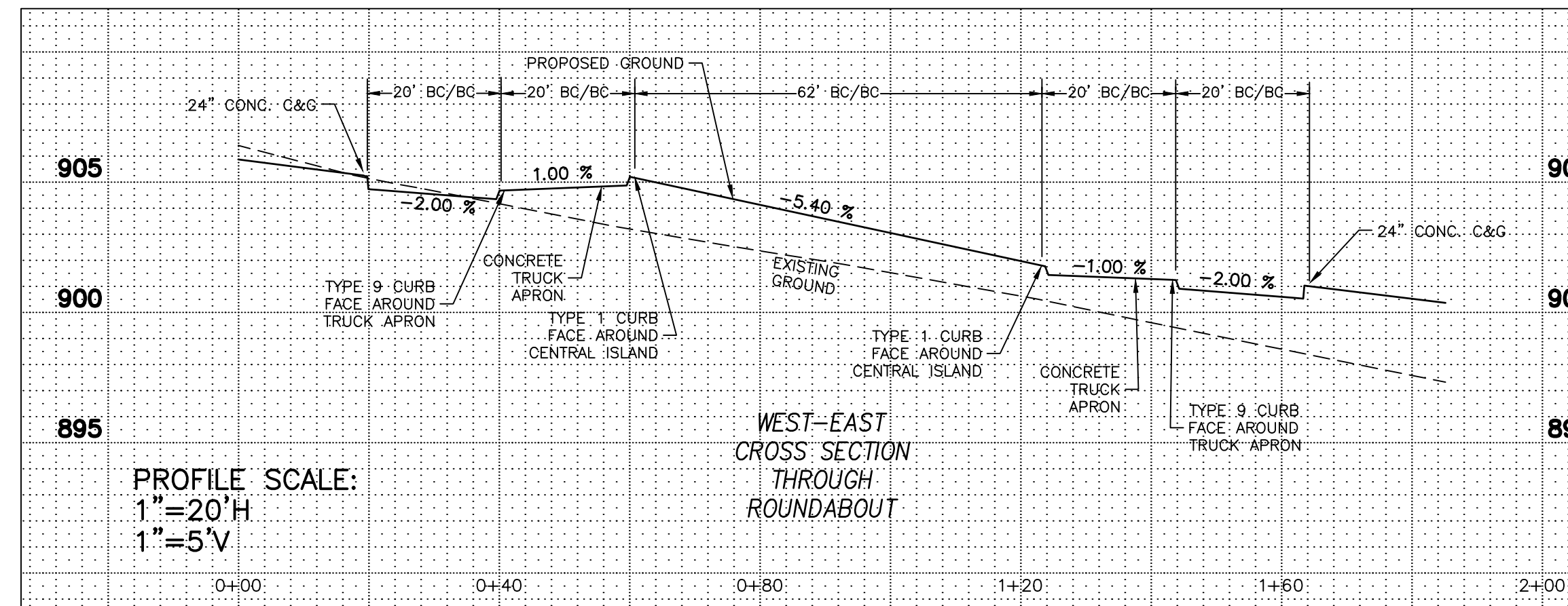


Figure 3-38B. Roundabout Detailed Section & Truck Apron Detail



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ENTRANCE LAYOUT & GRADING PLAN
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COWETA COUNTY, GEORGIA

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JOB NO.: 07-110

SHEET 5B OF 25

APPROVED
CONSULTANT: 22-000042
3/9/2024

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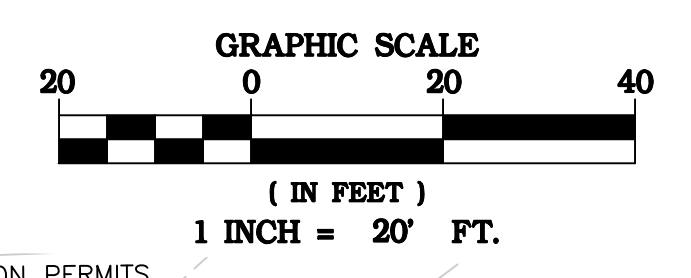
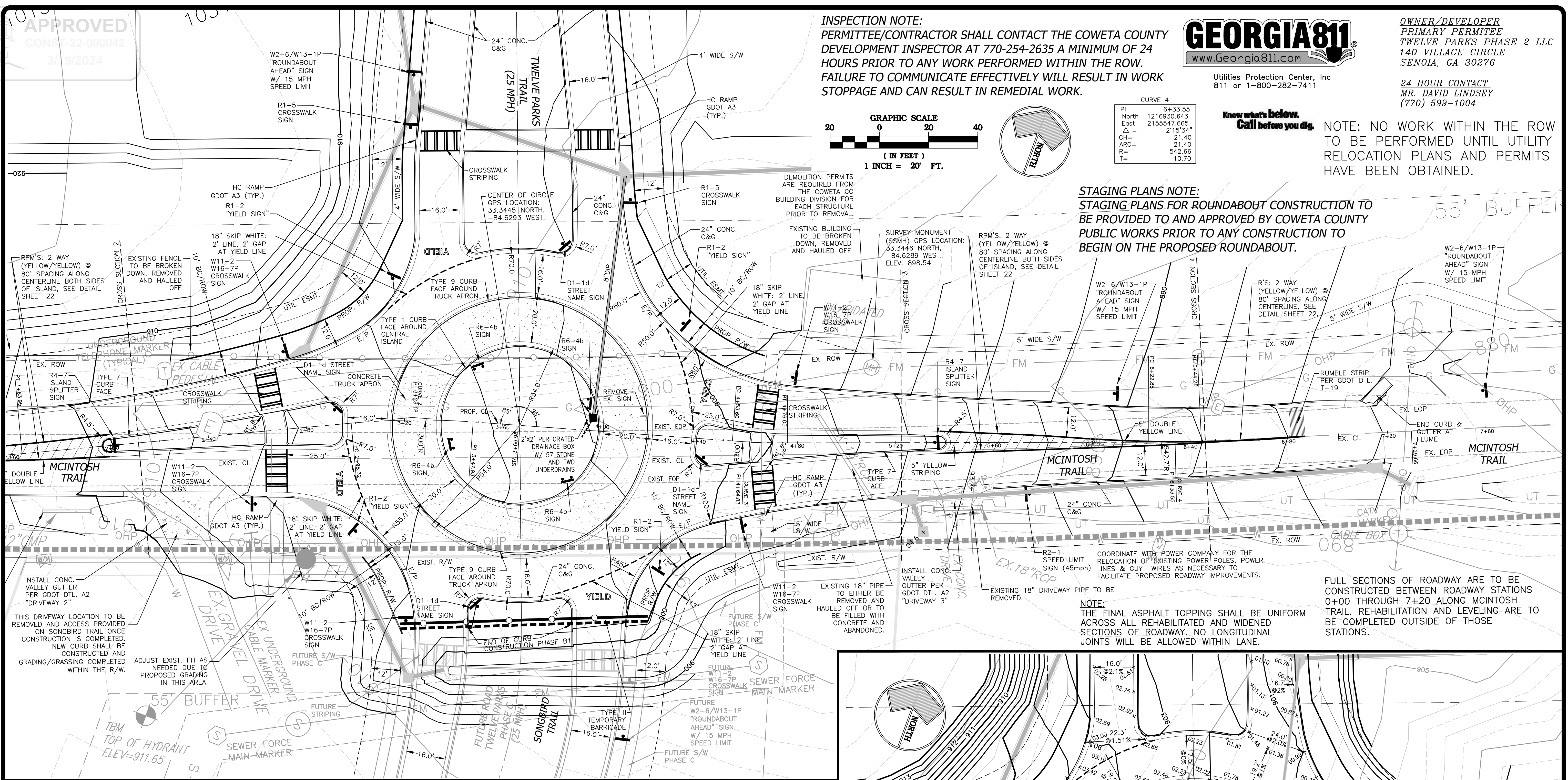
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CURVE 4

PI	6+33.55
North	1216930.643
East	2155547.665
Δ	215°34'
CH	21.40
ARC	21.40
R	542.66
T	10.70

NOTE: ALL ROAD DIMENSIONS SHOWN ABOVE ARE EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

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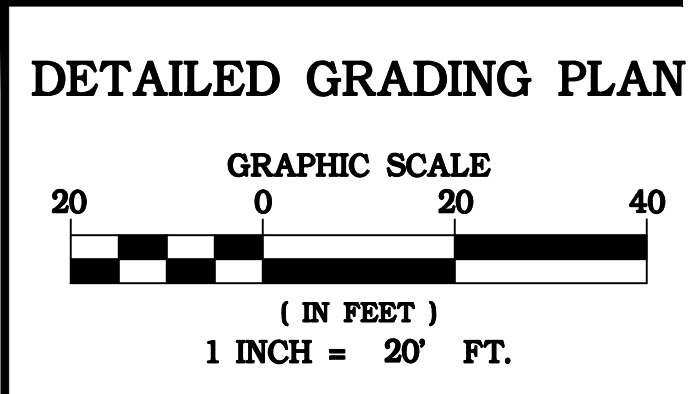
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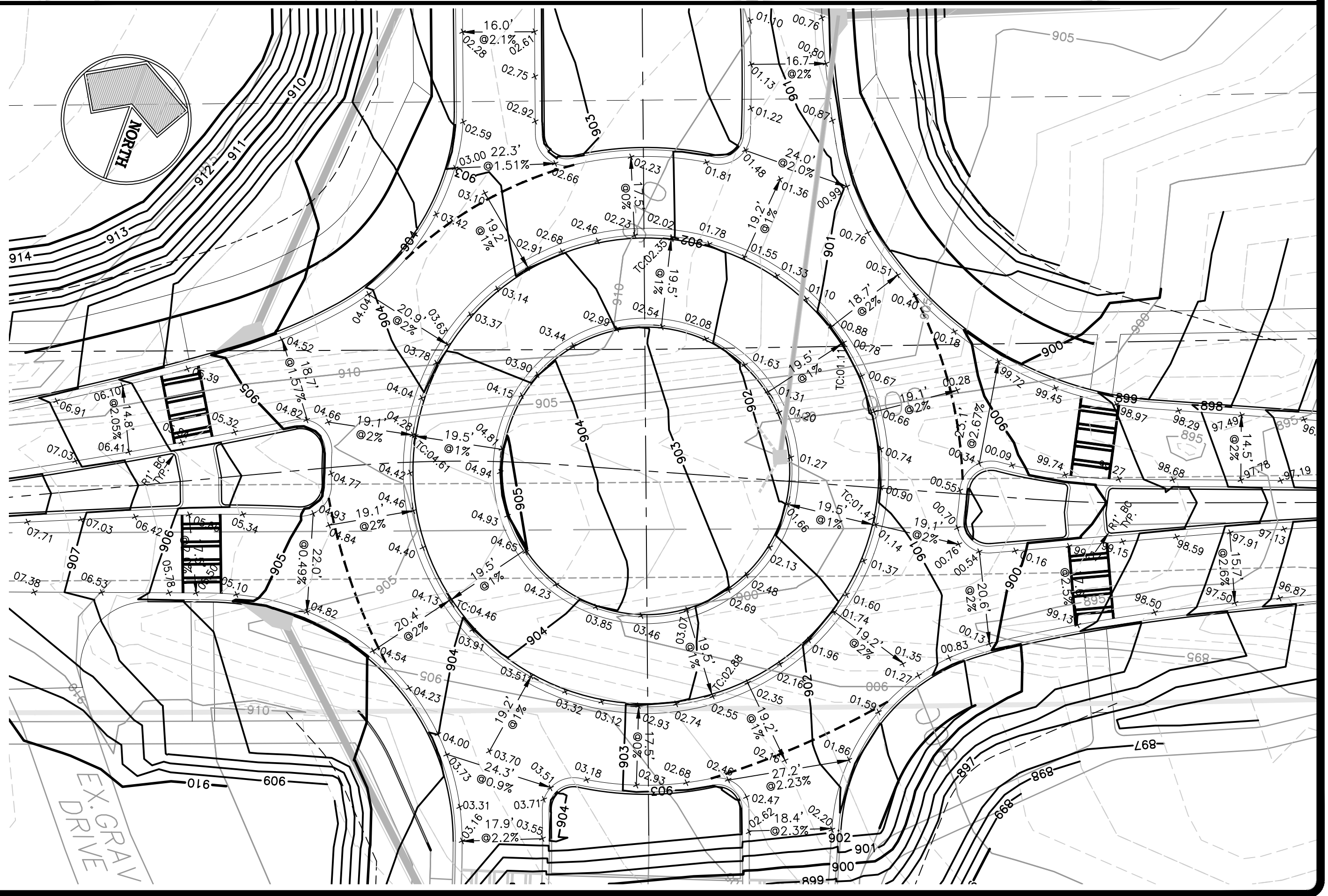
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THERMOPLASTIC STRIPING AND SHOULDER RECONSTRUCTION SHOULD BE PER CURRENT MUTCD AND GDOT STANDARDS.

PAVEMENT WIDENING SECTION



NOTES:
-EXISTING AND PROPOSED GRADING SHOWN AT 1' CONTOUR INTERVALS FOR THIS DETAILED GRADING PLAN ONLY.
-CROSS SLOPE TRANSITION RATE IS HELD TO BETWEEN 0.02%/FT AND 0.04%/FT PER GDOT ROUNDABOUT DESIGN GUIDE.
-SPOT ELEVATIONS SHOWN ARE AT THE EDGE OF PAVEMENT EXCEPT ALONG THE TRUCK APRON ISLAND, SPOT ELEVATIONS ARE SHOWN AT THE BOTTOM OF CURB OR WHERE SPECIFIED AS "TC" FOR TOP OF CURB.



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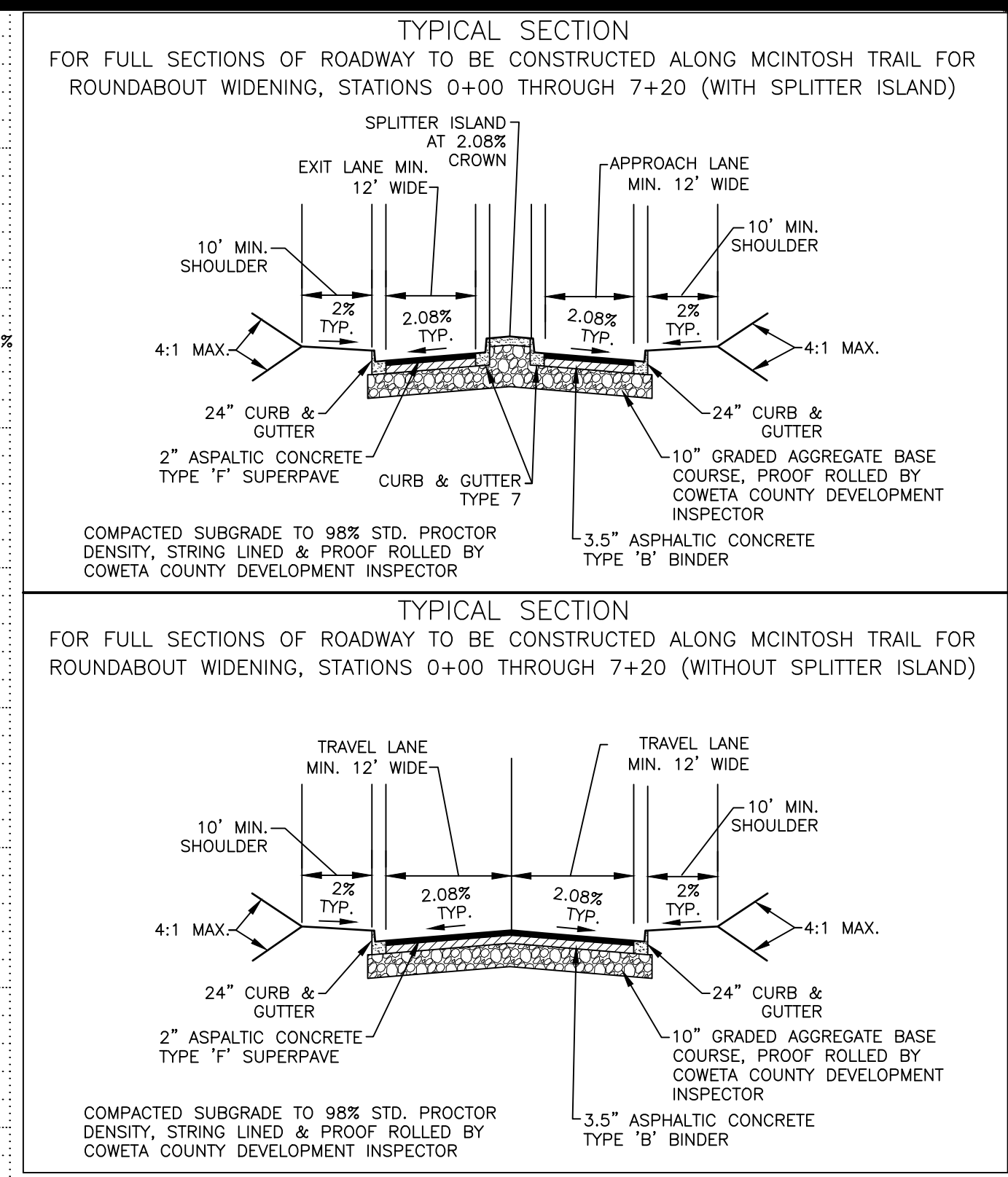
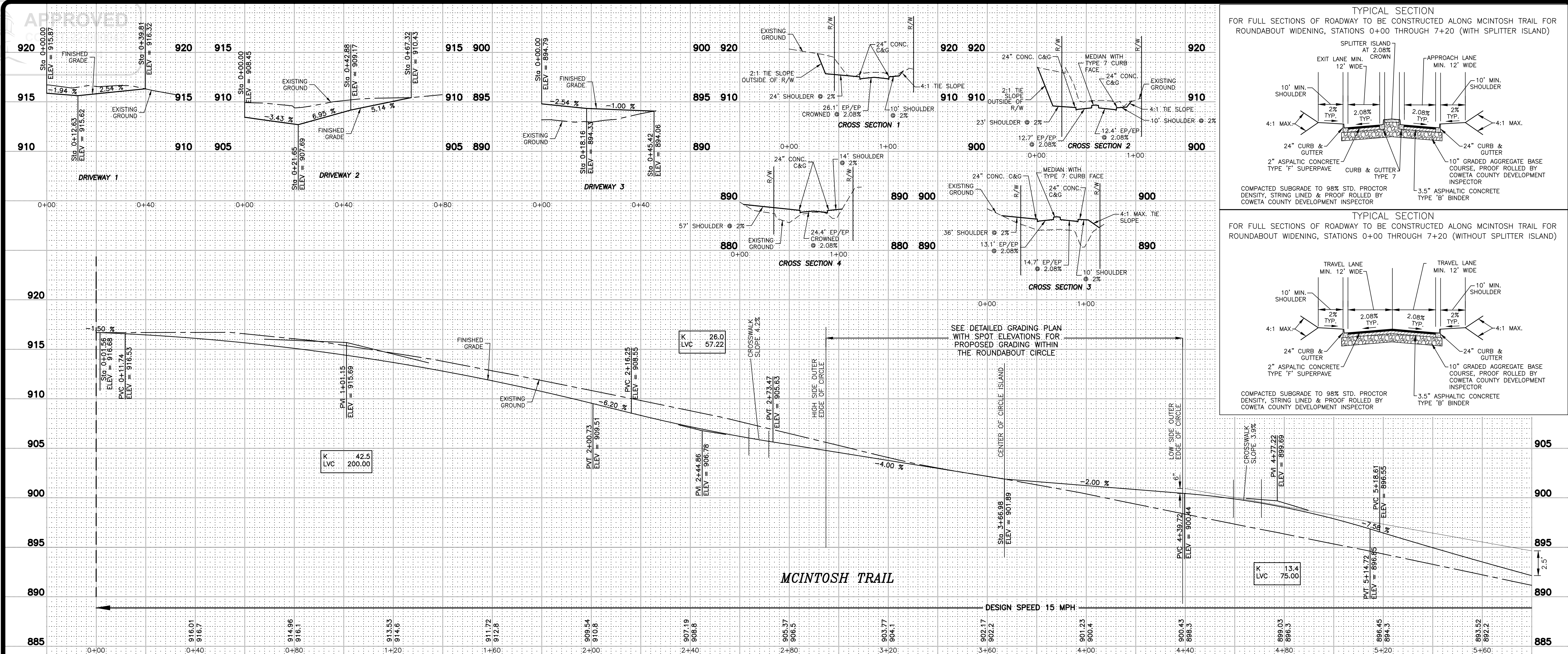
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ENTRANCE LAYOUT & GRADING PLAN
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DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET **5C** OF **25**



NOTE:
 THE DESIGN SPEED ALONG MCINTOSH TRAIL IS POSTED AS 15 MPH FROM STATION 0+00 TO STATION 7+60 FOR THE ROUNDABOUT AREA REQUIRED SPEED LIMIT. IN ORDER TO MEET THE VERTICAL CONSTRAINTS OF THE REQUIRED ROUNDABOUT SLOPES AND TO TIE INTO EXISTING GRADING WITHIN THE IMPROVEMENT AREA OF THE ROUNDABOUT, A FEW VERTICAL CURVES WITHIN THIS 15 MPH AREA ARE DESIGNED WITH LESS THAN 200' OF LENGTH. HOWEVER, THE VERTICAL CURVES PROVIDED WITHIN THIS 15 MPH AREA EXCEED MINIMUM AASHTO STANDARDS FOR MINIMUM K VALUES. SEE AASHTO DESIGN CHARTS INCLUDED ON THIS PAGE.

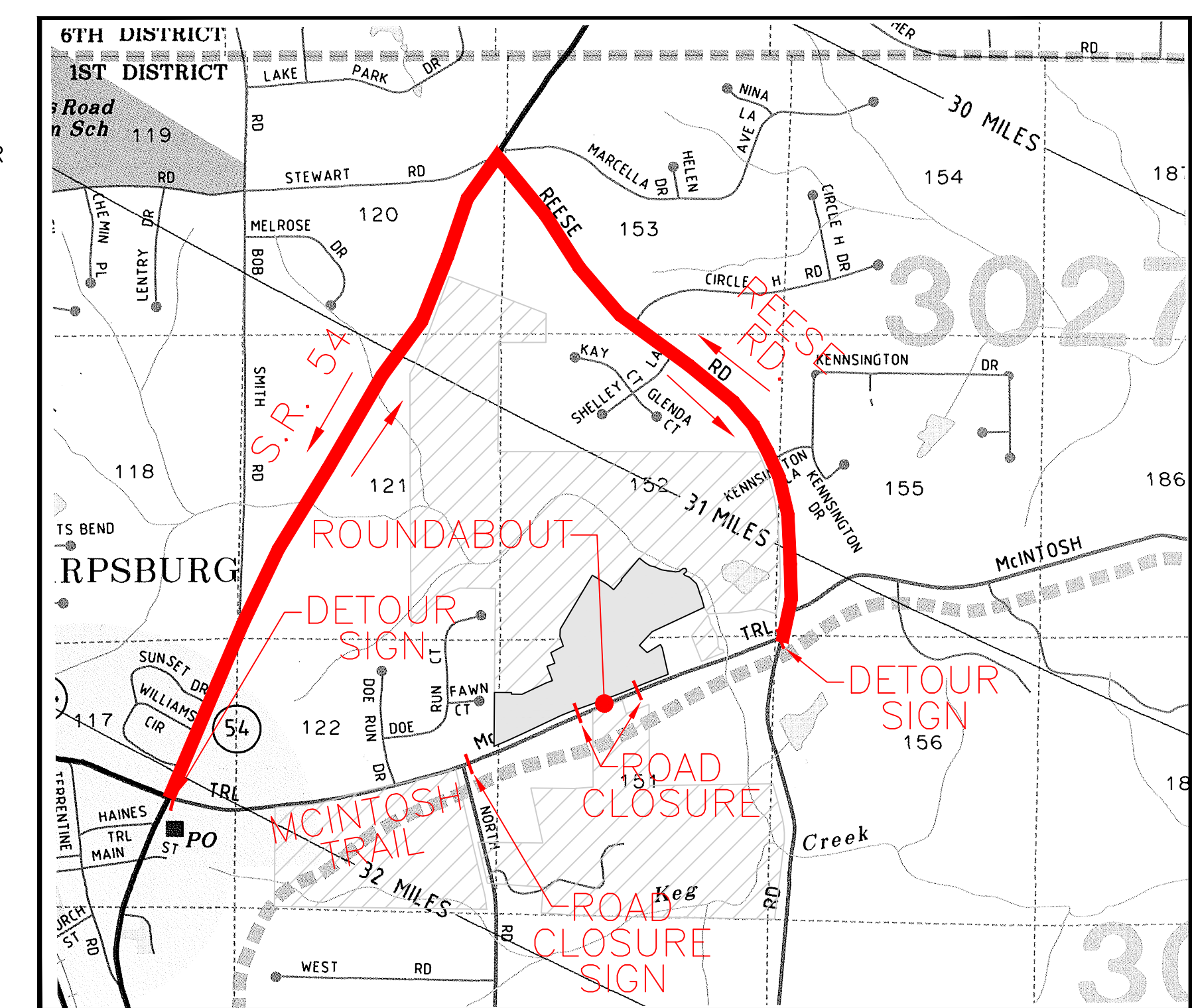
Table 3-35. Design Controls for Crest Vertical Curves Based on Stopping Sight Distance

Design Speed (mph)	U.S. Customary		Metric	
	Stopping Sight Distance (ft)	Rate of Vertical Curvature, K_a	Stopping Sight Distance (m)	Rate of Vertical Curvature, K_m
15	80	3.0	3	0.6
20	115	6.1	7	1.9
25	155	11.1	12	3.8
30	200	18.5	19	6.4
35	250	29.0	29	11.0
40	305	43.1	44	16.8
45	360	60.1	61	25.7
50	425	83.7	84	38.9
55	495	113.5	114	52.0
60	570	150.6	151	73.6
65	645	192.8	193	95.0
70	730	246.9	247	123.4
75	820	311.6	312	158.8
80	910	383.7	384	201.7

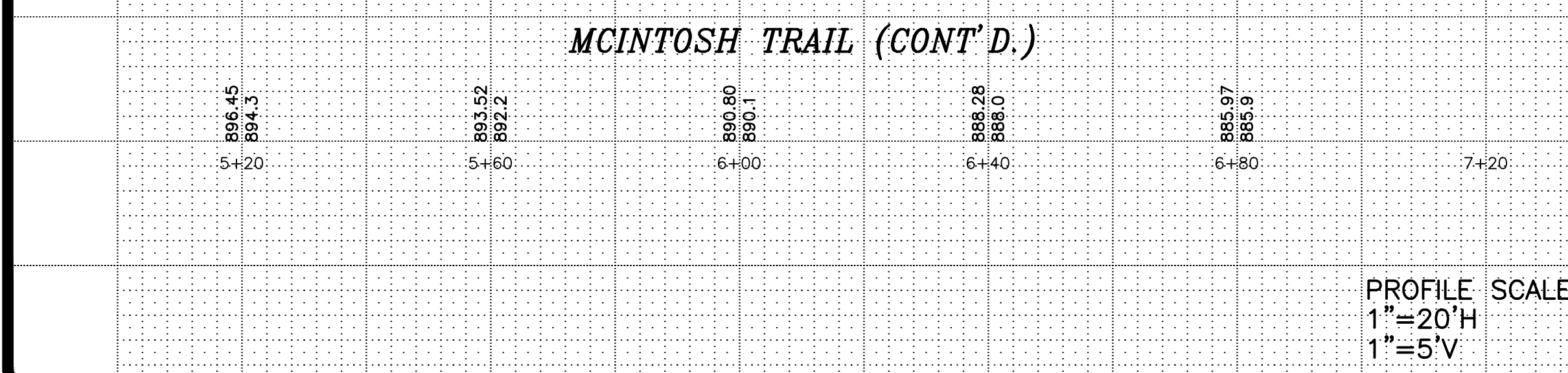
Table 3-37. Design Controls for Sag Vertical Curves

Design Speed (mph)	U.S. Customary		Metric	
	Stopping Sight Distance (ft)	Rate of Vertical Curvature, K_s	Stopping Sight Distance (m)	Rate of Vertical Curvature, K_m
15	80	9.4	3	2.1
20	115	16.5	7	4.6
25	155	25.5	12	8.5
30	200	36.4	19	13.8
35	250	49.0	29	21.3
40	305	63.4	44	31.6
45	360	78.1	61	44.6
50	425	95.7	84	60.1
55	495	114.9	114	78.8
60	570	135.7	151	100.7
65	645	156.5	193	125.8
70	730	180.3	247	164.2
75	820	205.6	312	206.7
80	910	231.0	384	263.3

ROAD CLOSURE NOTES:
 1. PROPOSED ROAD CLOSURE CANNOT OCCUR WITHOUT PRIOR AUTHORIZATION FROM THE BOARD AND MESSAGE BOARDS SHALL BE PLACED TWO WEEKS PRIOR TO ANY CLOSURE.
 2. PROPOSED ROAD CLOSURE WILL NOT EXCEED 60 DAYS.
 3. ALL TRAFFIC CONTROL SHOULD BE PER MUTCD.



DETOUR PLAN (N.T.S.)



PROFILE SCALE:
 1" = 20'H
 1" = 5'V



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ENTRANCE PROFILES FOR ROUND-ABOUT & EXISTING DRIVEWAYS
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT
 FOR
 1ST DISTRICT - LAND LOTS 151-152
 COMETA COUNTY, GEORGIA

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CONST-22-000042

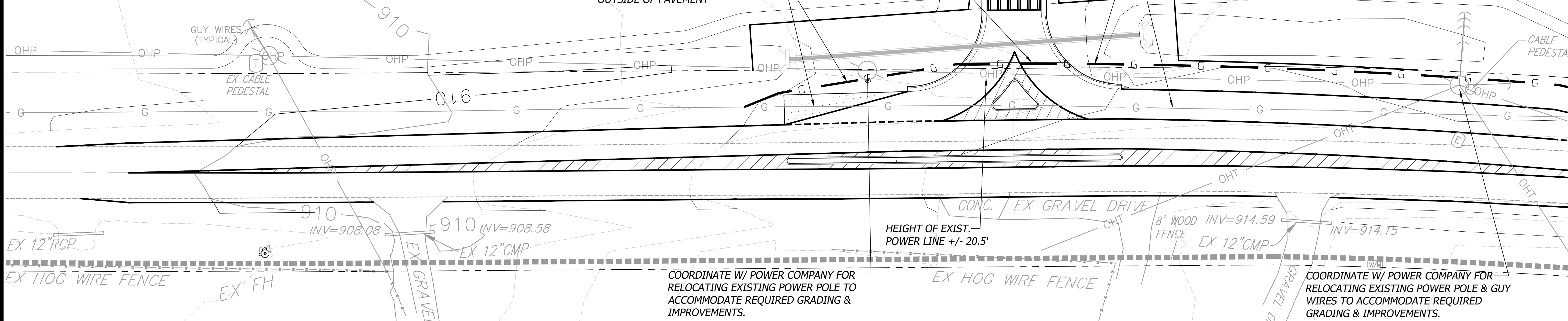
3/19/2024

55' BUFFER

COORDINATE W/ GAS COMPANY FOR RELOCATION OF EXISTING GAS LINE OUTSIDE OF PAVEMENT

INSTALL CONDUIT UNDER PROP. ROAD

COORDINATE W/ GAS COMPANY FOR RELOCATION OF EXISTING GAS LINE OUTSIDE OF PAVEMENT



55' BUFFER

COORDINATE W/ GAS COMPANY FOR RELOCATION OF EXISTING GAS LINE OUTSIDE OF PAVEMENT

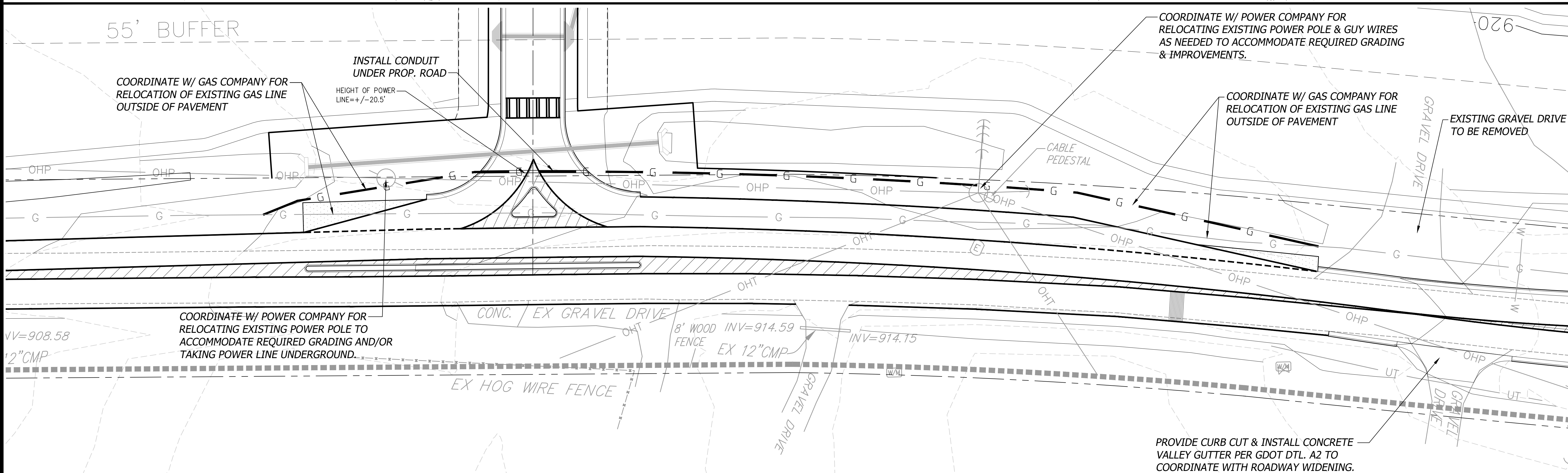
INSTALL CONDUIT UNDER PROP. ROAD

HEIGHT OF POWER LINE +/- 20.5'

COORDINATE W/ POWER COMPANY FOR RELOCATING EXISTING POWER POLE & GUY WIRES AS NEEDED TO ACCOMMODATE REQUIRED GRADING & IMPROVEMENTS.

COORDINATE W/ GAS COMPANY FOR RELOCATION OF EXISTING GAS LINE OUTSIDE OF PAVEMENT

EXISTING GRAVEL DRIVE TO BE REMOVED



NOTE: DEVELOPER TO COORDINATE UTILITY RELOCATIONS WITH UTILITY COMPANIES & COWETA COUNTY DEVELOPMENT DEPARTMENT PRIOR TO ANY WORK BEING DONE WITHIN MCINTOSH TRAIL RIGHT OF WAY.

NOTE: NO WORK WITHIN THE ROW TO BE PERFORMED UNTIL UTILITY RELOCATION PLANS AND PERMITS HAVE BEEN OBTAINED.

PROVIDE CURB CUT & INSTALL CONCRETE VALLEY GUTTER PER GDOT DTL. A2 TO COORDINATE WITH ROADWAY WIDENING.

OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
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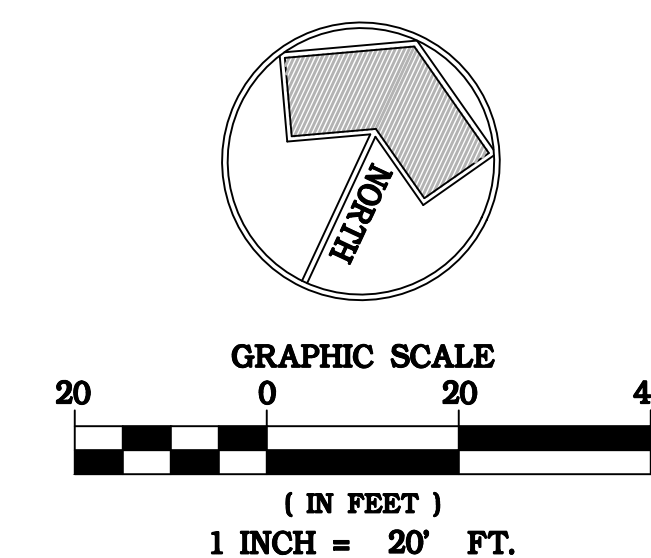


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NOTE:
NO POTHOLES OF THE ASPHALT WILL BE PERMITTED FOR ANY PURPOSE INCLUDING UTILITY LOCATIONS WITHOUT FIRST SEEKING A SEPARATE SPECIFIC PERMIT FROM THE COWETA COUNTY PUBLIC WORKS DEPARTMENT. IF CONTRACTOR POTHOLES WITHOUT PERMISSION, THE REMEDY WILL BE EXTENSIVE MILLING AND OVERLAYING TO EXTEND AS DIRECTED BY THE PUBLIC WORKS ADMINISTRATOR.



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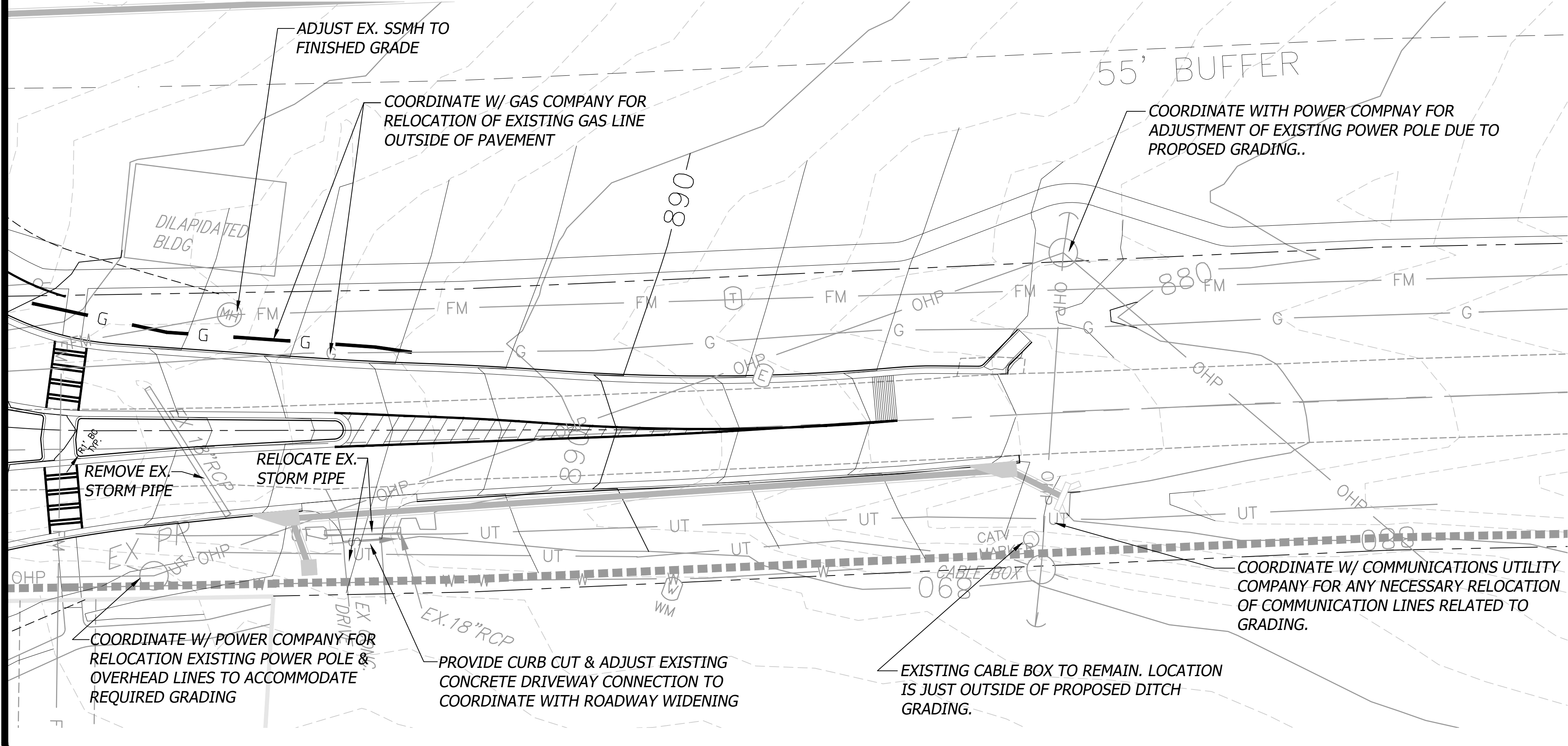
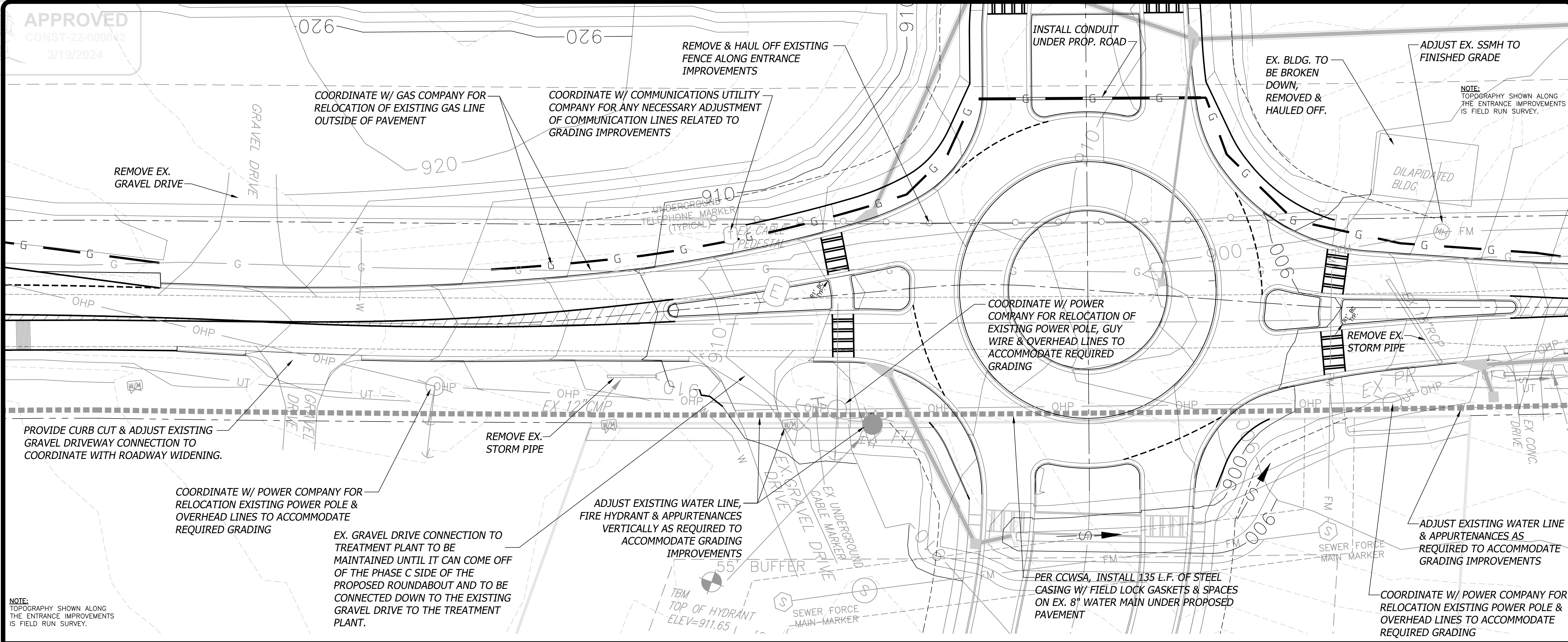
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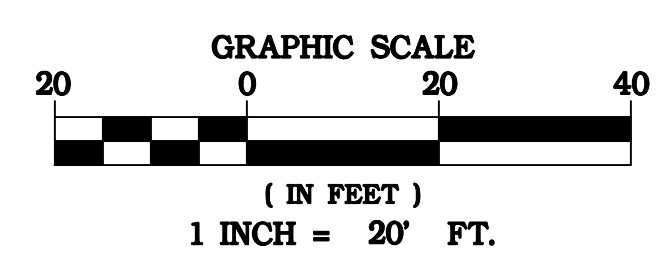
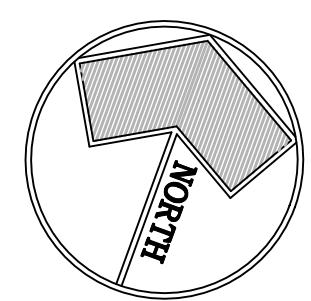
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APPENDIX 1
 THE ES&PC PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE FOLLOWING BMPs FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO A IMPAIRED STREAM SEGMENT AND FOR SITES WHICH EPD HAS APPROVED IN WRITING A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME.
 The four items chosen must be appropriate for the site conditions.

Plan Included
 Page # Y/N

6-8 Y

a. During construction activities, double the width of the 25 foot undisturbed vegetated buffer along all State waters requiring a buffer and the 50 foot undisturbed vegetated buffer along all State waters classified as "trout streams" requiring a buffer. During construction activities, EPD will not grant variances to any such buffers that are increased in width.

6-90 Y

b. Increase all temporary sediment basins and retrofit storm water management basins to provide sediment storage of at least 3600 cubic feet (134 cubic yards) per acre drained.

6-8 Y

d. A large sign (minimum 4 feet x 8 feet) must be posted on site by the actual start date of construction. The sign must be visible from a public roadway. The sign must identify the following: (1) construction site, (2) the permittee(s), (3) the contact person(s) and telephone number(s), and (4) the permittee-hosted website where the Plan can be viewed must be provided on the submitted NOI. The sign must remain on site and the Plan must be available on the provided website until a NOI has been submitted.

6-8 Y

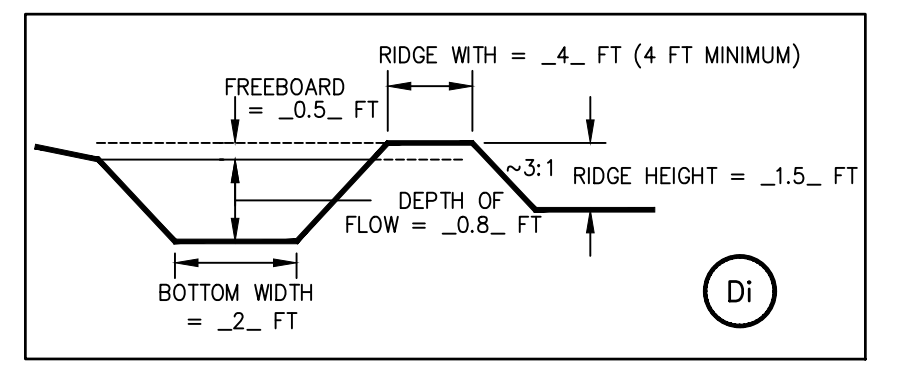
l. Use mulch filter berms, in addition to a silt fence, on the site perimeter wherever construction storm water (including sheet flow) may be discharged. Mulch filter berms cannot be placed in waterways or areas of concentrated flow.

6-8 Y

Conduct soil tests to identify and to implement site-specific fertilizer needs.

Effective January 1, 2024

* This requirement is different for infrastructure projects:
 Certified personnel for primary permits shall conduct inspections at least once every fourteen (14) calendar days and within 24 hours of the end of the storm that is 0.5 inches rainfall or greater in accordance with Section IV.D.4.(3)(a)-(c) of this permit.

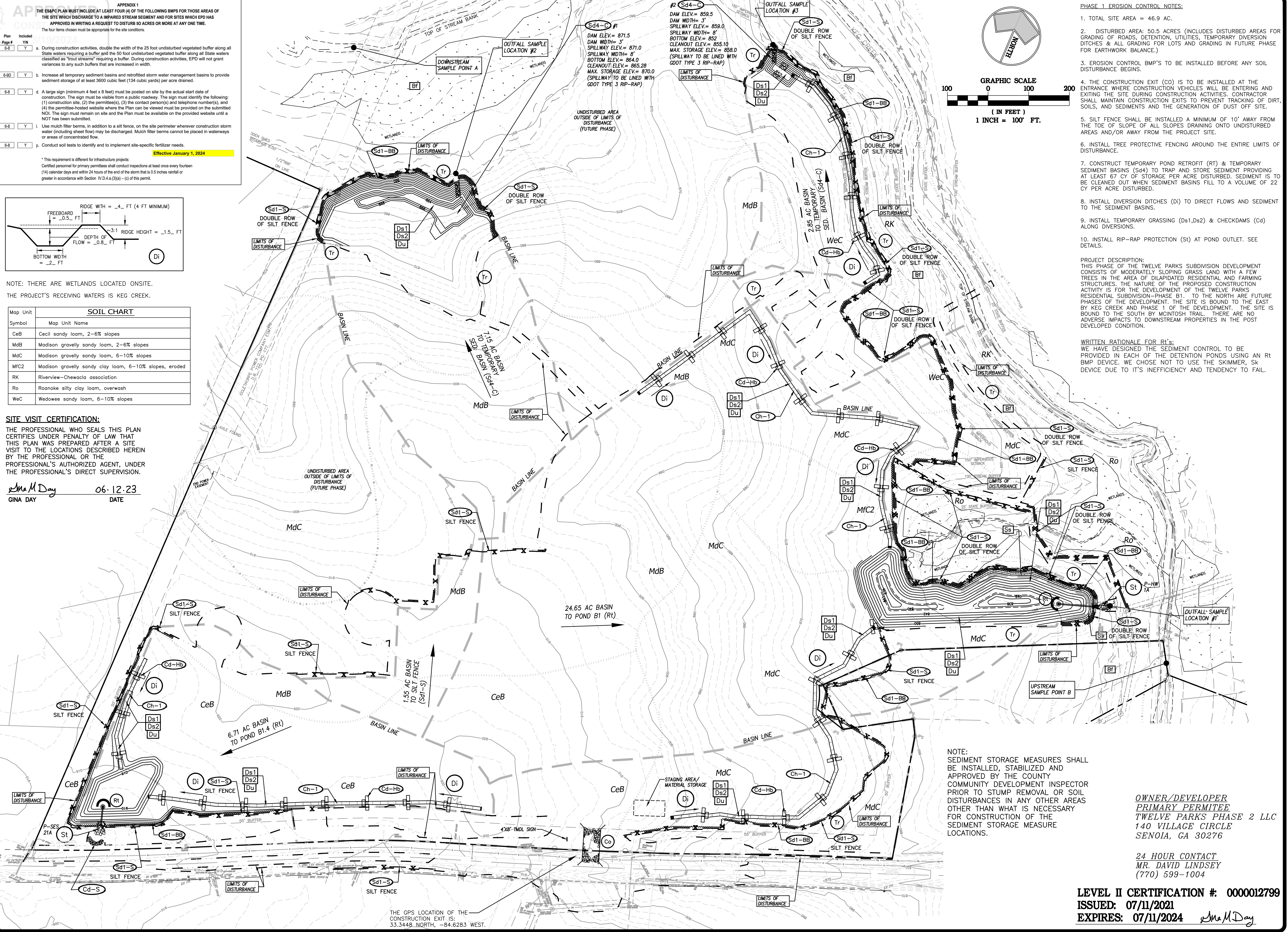


NOTE: THERE ARE WETLANDS LOCATED ONSITE.
 THE PROJECT'S RECEIVING WATERS IS KEG CREEK.

Map Unit	SOIL CHART
Symbol	Map Unit Name
CeB	Cecil sandy loam, 2-6% slopes
MdB	Madison gravelly sandy loam, 2-6% slopes
MdC	Madison gravelly sandy loam, 6-10% slopes
MfC2	Madison gravelly sandy clay loam, 6-10% slopes, eroded
RK	Riverview-Chewacla association
Ro	Roanoke silty clay loam, overwash
WeC	Wedowee sandy loam, 6-10% slopes

SITE VISIT CERTIFICATION:
 THE PROFESSIONAL WHO SEALS THIS PLAN CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY THE PROFESSIONAL OR THE PROFESSIONAL'S AUTHORIZED AGENT, UNDER THE PROFESSIONAL'S DIRECT SUPERVISION.

Gina Day 06.12.23
 GINA DAY DATE



PHASE 1 EROSION CONTROL NOTES:

- TOTAL SITE AREA = 46.9 AC.
- DISTURBED AREA: 50.5 ACRES (INCLUDES DISTURBED AREAS FOR GRADING OF ROADS, DETENTION, UTILITIES, TEMPORARY DIVERSION DITCHES & ALL GRADING FOR LOTS AND GRADING IN FUTURE PHASE FOR EARTHWORK BALANCE.)
- EROSION CONTROL BMP'S TO BE INSTALLED BEFORE ANY SOIL DISTURBANCE BEGINS.
- THE CONSTRUCTION EXIT (CO) IS TO BE INSTALLED AT THE ENTRANCE WHERE CONSTRUCTION VEHICLES WILL BE ENTERING AND EXITING THE SITE DURING CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL MAINTAIN CONSTRUCTION EXITS TO PREVENT TRACKING OF DIRT, SOILS, AND SEDIMENTS AND THE GENERATION OF DUST OFF SITE.
- SILT FENCE SHALL BE INSTALLED A MINIMUM OF 10' AWAY FROM THE TOE OF SLOPE OF ALL SLOPES DRAINING ONTO UNDISTURBED AREAS AND/OR AWAY FROM THE PROJECT SITE.
- INSTALL TREE PROTECTIVE FENCING AROUND THE ENTIRE LIMITS OF DISTURBANCE.
- CONSTRUCT TEMPORARY POND RETROFIT (RT) & TEMPORARY SEDIMENT BASINS (Sd4) TO TRAP AND STORE SEDIMENT PROVIDING AT LEAST 67 CY OF STORAGE PER ACRE DISTURBED. SEDIMENT IS TO BE CLEANED OUT WHEN SEDIMENT BASINS FILL TO A VOLUME OF 22 CY PER ACRE DISTURBED.
- INSTALL DIVERSION DITCHES (Di) TO DIRECT FLOWS AND SEDIMENT TO THE SEDIMENT BASINS.
- INSTALL TEMPORARY GRASSING (Ds1, Ds2) & CHECKDAMS (Cd) ALONG DIVERSIONS.
- INSTALL RIP-RAP PROTECTION (St) AT POND OUTLET. SEE DETAILS.

PROJECT DESCRIPTION:
 THIS PHASE OF THE TWELVE PARKS SUBDIVISION DEVELOPMENT CONSISTS OF MODERATELY SLOPING GRASS LAND WITH A FEW TREES IN THE AREA OF DILAPIDATED RESIDENTIAL AND FARMING STRUCTURES. THE NATURE OF THE PROPOSED CONSTRUCTION ACTIVITY IS FOR THE DEVELOPMENT OF THE TWELVE PARKS RESIDENTIAL SUBDIVISION-PHASE B1. TO THE NORTH ARE FUTURE PHASES OF THE DEVELOPMENT. THE SITE IS BOUND TO THE EAST BY KEG CREEK AND PHASE 1 OF THE DEVELOPMENT. THE SITE IS BOUND TO THE SOUTH BY MCINTOSH TRAIL. THERE ARE NO ADVERSE IMPACTS TO DOWNSTREAM PROPERTIES IN THE POST DEVELOPED CONDITION.

WRITTEN RATIONALE FOR RT'S:
 WE HAVE DESIGNED THE SEDIMENT CONTROL TO BE PROVIDED IN EACH OF THE DETENTION PONDS USING AN RT BMP DEVICE. WE CHOSE NOT TO USE THE SKIMMER, SK DEVICE DUE TO IT'S INEFFICIENCY AND TENDENCY TO FAIL.

NOTE:
 SEDIMENT STORAGE MEASURES SHALL BE INSTALLED, STABILIZED AND APPROVED BY THE COUNTY COMMUNITY DEVELOPMENT INSPECTOR PRIOR TO STUMP REMOVAL OR SOIL DISTURBANCES IN ANY OTHER AREAS OTHER THAN WHAT IS NECESSARY FOR CONSTRUCTION OF THE SEDIMENT STORAGE MEASURE LOCATIONS.

OWNER/DEVELOPER
 PRIMARY PERMITEE
 TWELVE PARKS PHASE 2 LLC
 140 VILLAGE CIRCLE
 SENOIA, GA 30276

24 HOUR CONTACT
 MR. DAVID LINDSEY
 (770) 599-1004

LEVEL II CERTIFICATION #: 0000012799
ISSUED: 07/11/2021
EXPIRES: 07/11/2024 *Gina M. Day*



CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
SITE PLANNING

DAY DESIGN GROUP, Inc.

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 dgd@daydesigngroup.com
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EROSION CONTROL PLAN - PHASE ONE
 FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOCATED IN
 1ST DISTRICT - LAND LOTS 151-152
 COMETA COUNTY, GEORGIA

NO.	DATE	REVISIONS	DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS	
5	11/22/23	COMMENTS AND REVISIONS PER COUNTY COMMENTS	
4	06/12/23	REVISIONS PER COUNTY COMMENTS	
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS	
2	01/23/23	REVISIONS PER COUNTY COMMENTS	
1	07/07/22	INITIAL DATE OF PLANS	

DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET **6** OF **25**

APPENDIX 1
 THE E88PC PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE FOLLOWING BMPs FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO AN IMPAIRED STREAM SEGMENT AND FOR SITES WHICH EPD HAS APPROVED IN WRITING A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME. The four items chosen must be appropriate for the site conditions.

Plan Included
 Page # Y/N
 6.8 Y
 6.9 Y
 6.8 Y
 6.8 Y
 6.8 Y

a. During construction activities, double the width of the 25 foot undisturbed vegetated buffer along all State waters requiring a buffer and the 50 foot undisturbed vegetated buffer along all State waters classified as "trout streams" requiring a buffer. During construction activities, EPD will not grant variances to any such buffers that are increased in width.

b. Increase all temporary sediment basins and retrofitted storm water management basins to provide sediment storage of at least 3600 cubic feet (134 cubic yards) per acre drained.

c. A large sign (minimum 4 feet x 6 feet) must be posted on site by the actual start date of construction. The sign must be visible from a public roadway. The sign must identify the following: (1) construction site, (2) the permittee(s), (3) the contact person(s) and telephone number(s), and (4) the permittee-hosted website where the Plan can be viewed must be provided on the submitted NOI. The sign must remain on site and the Plan must be available on the provided website until a NOI has been submitted.

d. Use mulch filter berms, in addition to a silt fence, on the site perimeter wherever construction storm water (including sheet flow) may be discharged. Mulch filter berms cannot be placed in waterways or areas of concentrated flow.

e. Conduct soil tests to identify and to implement site-specific fertilizer needs.

Effective January 1, 2024

*This requirement is different for infrastructure projects.
 Certified personnel for primary permittees shall conduct inspections at least once every fourteen (14) calendar days and within 24 hours of the end of the storm that is 0.5 inches rainfall or greater in accordance with Section IV.D.4.a.(5)(a)-(c) of this permit.

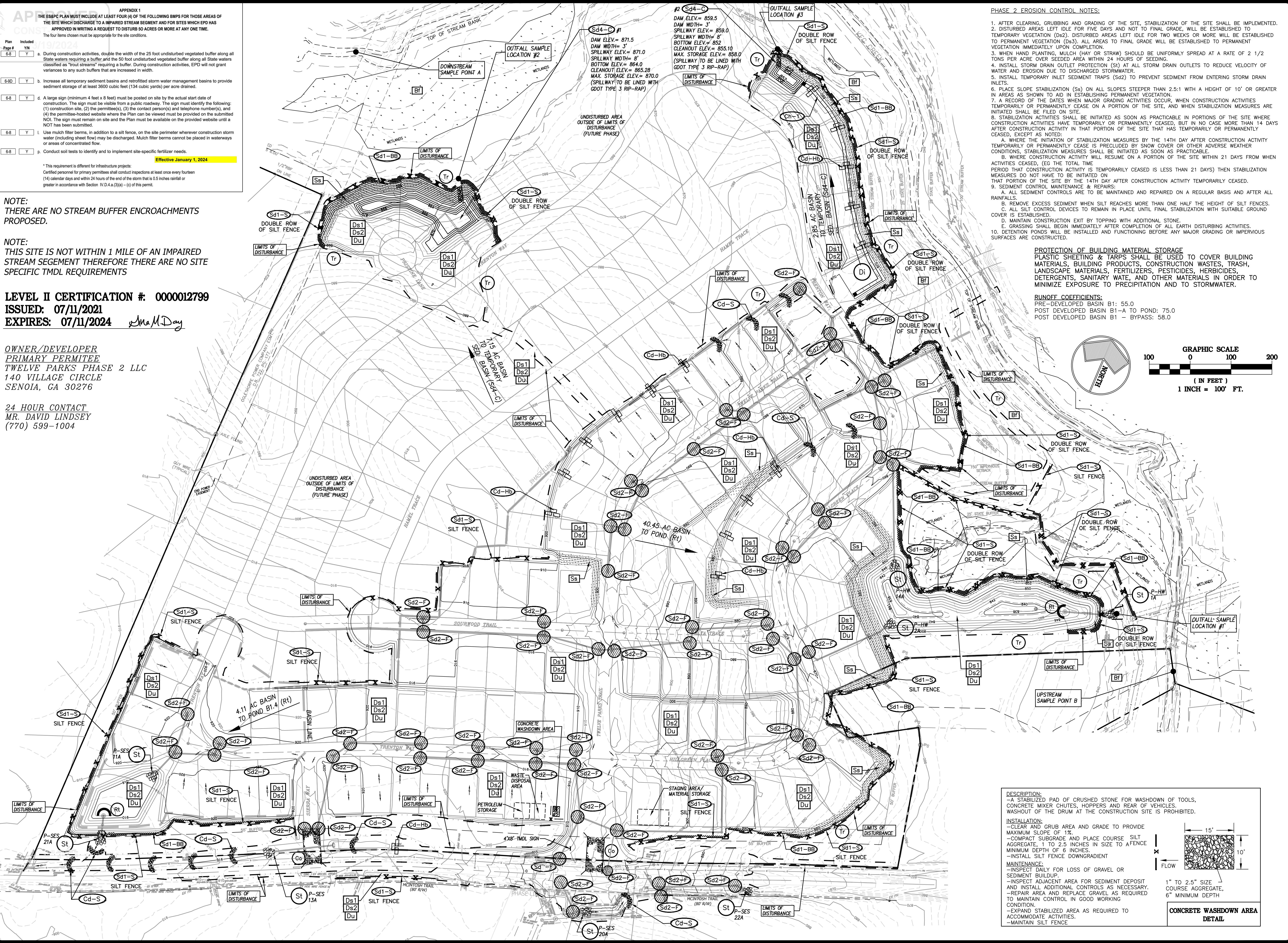
NOTE:
 THERE ARE NO STREAM BUFFER ENCROACHMENTS PROPOSED.

NOTE:
 THIS SITE IS NOT WITHIN 1 MILE OF AN IMPAIRED STREAM SEGMENT THEREFORE THERE ARE NO SITE SPECIFIC TMDL REQUIREMENTS

LEVEL II CERTIFICATION #: 0000012799
ISSUED: 07/11/2021
EXPIRES: 07/11/2024 *Ma M Day*

OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276

24 HOUR CONTACT
MR. DAVID LINDSEY
(770) 599-1004

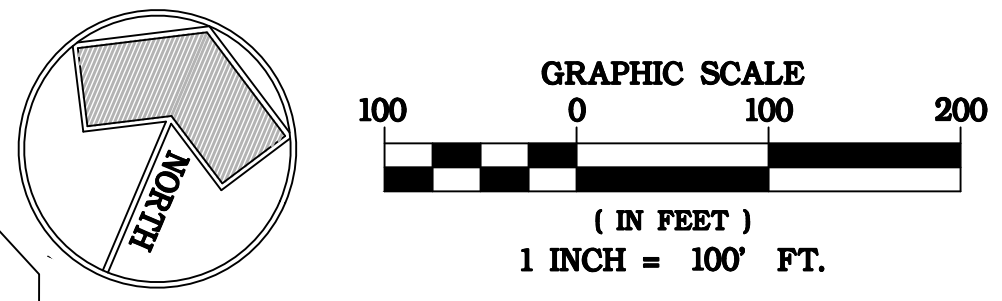


PHASE 2 EROSION CONTROL NOTES:

- AFTER CLEARING, GRUBBING AND GRADING OF THE SITE, STABILIZATION OF THE SITE SHALL BE IMPLEMENTED.
- DISTURBED AREAS LEFT IDE FOR FIVE DAYS AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION (Ds2), DISTURBED AREAS LEFT IDE FOR TWO WEEKS OR MORE WILL BE ESTABLISHED TO PERMANENT VEGETATION (Ds3) ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION IMMEDIATELY UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD AT A RATE OF 2 1/2 TONS PER ACRE OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
- INSTALL STORM DRAIN OUTLET PROTECTION (SD) AT ALL STORM DRAIN OUTLETS TO REDUCE VELOCITY OF WATER AND EROSION DUE TO DISCHARGED STORMWATER.
- INSTALL TEMPORARY INLET SEDIMENT TRAPS (Sd2) TO PREVENT SEDIMENT FROM ENTERING STORM DRAIN INLETS.
- PLACE SLOPE STABILIZATION (Ss) ON ALL SLOPES STEEPER THAN 2.5:1 WITH A HEIGHT OF 10' OR GREATER IN AREAS SHOWN TO AID IN ESTABLISHING PERMANENT VEGETATION.
- A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN STABILIZATION MEASURES ARE INITIATED OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED SHALL BE FILED ON SITE.
- STABILIZATION ACTIVITIES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE THAT HAS TEMPORARILY OR PERMANENTLY CEASED, EXCEPT AS NOTED.
- WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER OR OTHER ADVERSE WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
- WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (EG THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.
- SEDIMENT CONTROL MAINTENANCE & REPAIRS:
 - ALL SEDIMENT CONTROLS ARE TO BE MAINTAINED AND REPAIRED ON A REGULAR BASIS AND AFTER ALL RAINFALLS.
 - REMOVE EXCESS SEDIMENT WHEN SILT REACHES MORE THAN ONE HALF THE HEIGHT OF SILT FENCES.
 - ALL SILT CONTROL DEVICES TO REMAIN IN PLACE UNTIL FINAL STABILIZATION WITH SUITABLE GROUND COVER IS ESTABLISHED.
 - MAINTAIN CONSTRUCTION EXIT BY TOPPING WITH ADDITIONAL STONE.
 - CRASSH SH-SHALL BEGIM IMMEDIATELY AFTER COMPLETION OF ALL EARTH DISTURBING ACTIVITIES.
- DETENTION PONDS WILL BE INSTALLED AND FUNCTIONING BEFORE ANY MAJOR GRADING OR IMPERVIOUS SURFACES ARE CONSTRUCTED.

PROTECTION OF BUILDING MATERIAL STORAGE
 PLASTIC SHEETING & TARPS SHALL BE USED TO COVER BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, AND OTHER MATERIALS IN ORDER TO MINIMIZE EXPOSURE TO PRECIPITATION AND TO STORMWATER.

RUNOFF COEFFICIENTS:
 PRE-DEVELOPED BASIN B1- 55.0
 POST DEVELOPED BASIN B1-A TO POND: 75.0
 POST DEVELOPED BASIN B1 - BYPASS: 58.0



DESCRIPTION:
 -A STABILIZED PAD OF CRUSHED STONE FOR WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS AND REAR OF VEHICLES. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.

INSTALLATION:
 -CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 1%
 -COMPACT SUBGRADE AND PLACE COURSE SILT AGGREGATE, 1 TO 2.5 INCHES IN SIZE TO AFENCE MINIMUM DEPTH OF 6 INCHES.
 -INSTALL SILT FENCE DOWNGRADIENT

MAINTENANCE:
 -INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.
 -INSPECT ADJACENT AREA FOR SEDIMENT DEPOSIT AND INSTALL ADDITIONAL CONTROLS AS NECESSARY.
 -REPAIR AREA AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.
 -EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE ACTIVITIES.
 -MAINTAIN SILT FENCE.

CONCRETE WASHDOWN AREA DETAIL

15'
 10'
 1" TO 2.5" SIZE COURSE AGGREGATE, 6" MINIMUM DEPTH



CIVIL ENGINEERING
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EROSION CONTROL PLAN - PHASE TWO
 FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
 LOCATED IN
 1ST DISTRICT - LAND LOTS 151-152
 COMETA COUNTY, GEORGIA

NO.	DATE	REVISIONS PER COUNTY COMMENTS	DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS AND REVIEWER COMMENTS	
5	11/22/23	REVISIONS PER COUNTY COMMENTS	
4	06/12/23	REVISIONS PER COUNTY COMMENTS	
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1	07/07/22	INITIAL DATE OF PLANS	

NO.	DATE	REVISIONS PER COUNTY COMMENTS	DESCRIPTION
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1	07/07/22	INITIAL DATE OF PLANS	

DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET **7** OF **25**

APPENDIX 1
 THE ES&PC PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE FOLLOWING BMPs FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO AN IMPAIRED STREAM SEGMENT AND FOR SITES WHICH EPD HAS APPROVED IN WRITING A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME.
 The four items chosen must be appropriate for the site conditions.

Plan Included
 Page # Y/N
 6-8 Y

a. During construction activities, double the width of the 25 foot undisturbed vegetated buffer along all State waters requiring a buffer and the 50 foot undisturbed vegetated buffer along all State waters classified as "trout streams" requiring a buffer. During construction activities, EPD will not grant variances to any such buffers that are increased in width.

6-90 Y

b. Increase all temporary sediment basins and retrofitted storm water management basins to provide sediment storage of at least 3600 cubic feet (134 cubic yards) per acre drained.

6-8 Y

d. A large sign (minimum 4 feet x 8 feet) must be posted on site by the actual start date of construction. The sign must be visible from a public roadway. The sign must identify the following: (1) construction site, (2) the permittee(s), (3) the contact person(s) and telephone number(s), and (4) the permittee-hosted website where the Plan can be viewed must be provided on the submitted NOI. The sign must remain on site and the Plan must be available on the provided website until a NOT has been submitted.

6-8 Y

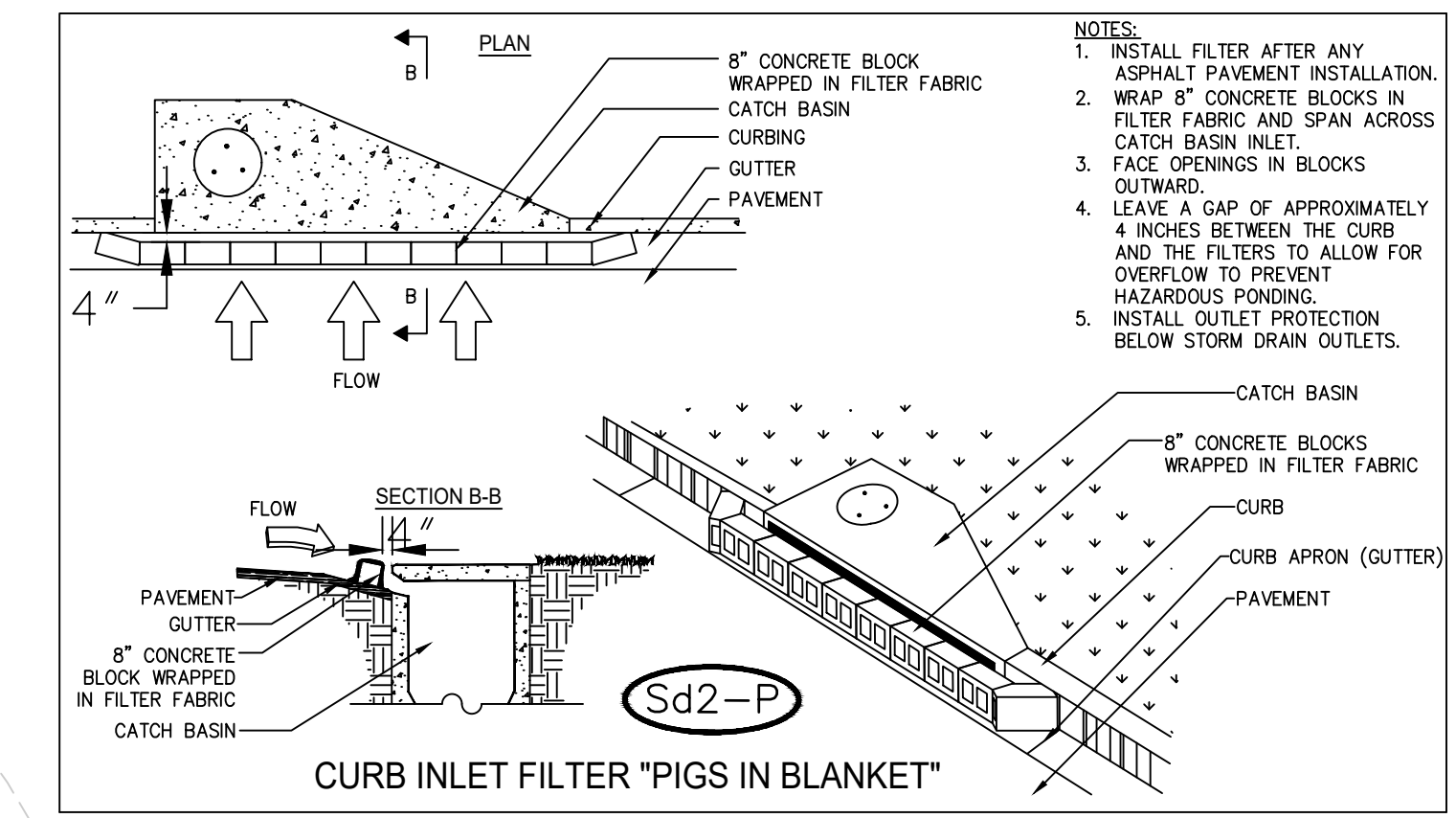
l. Use mulch filter berms, in addition to a silt fence, on the site perimeter wherever construction storm water (including sheet flow) may be discharged. Mulch filter berms cannot be placed in waterways or areas of concentrated flow.

6-8 Y

p. Conduct soil tests to identify and to implement site-specific fertilizer needs.

Effective January 1, 2024

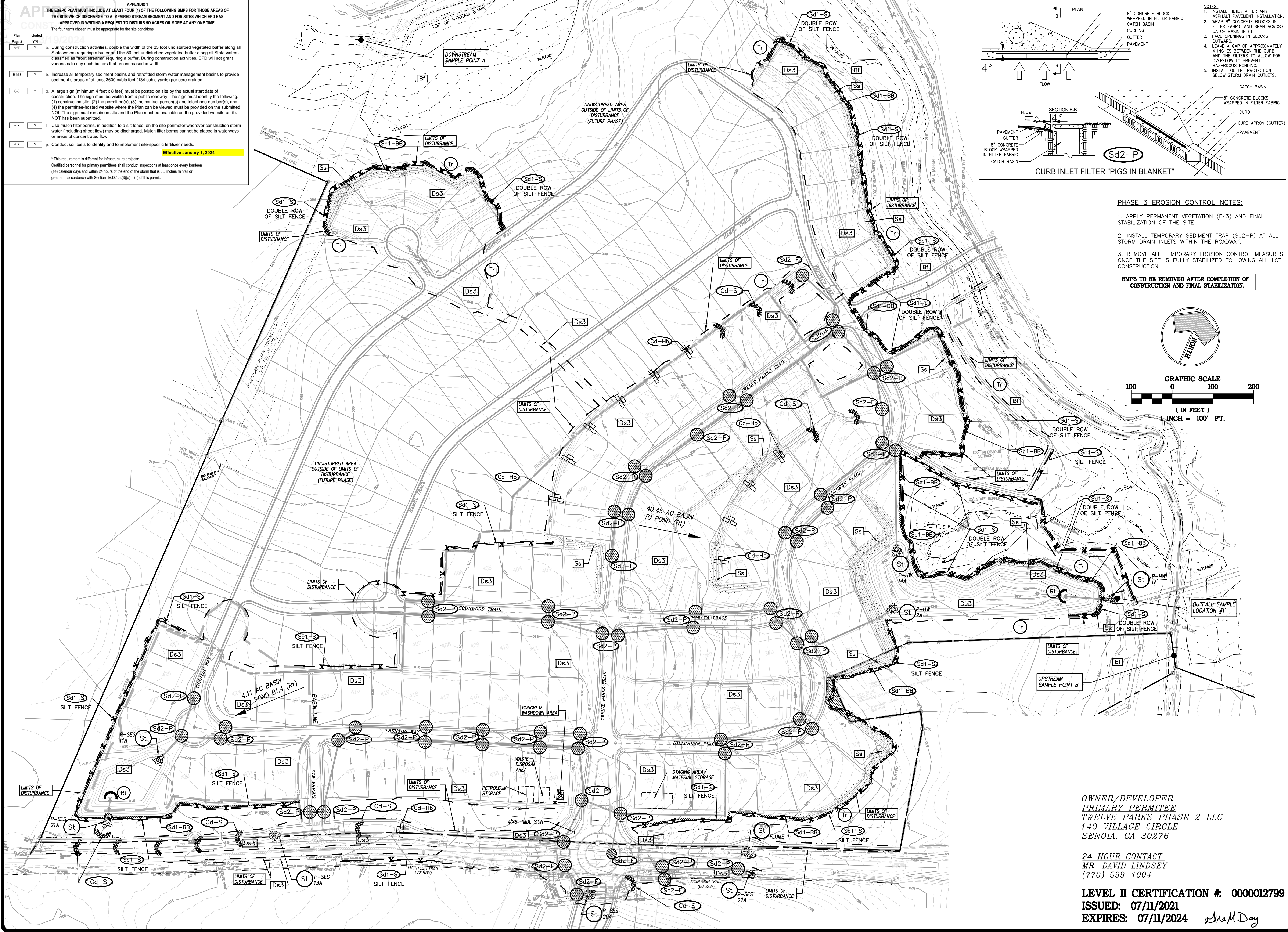
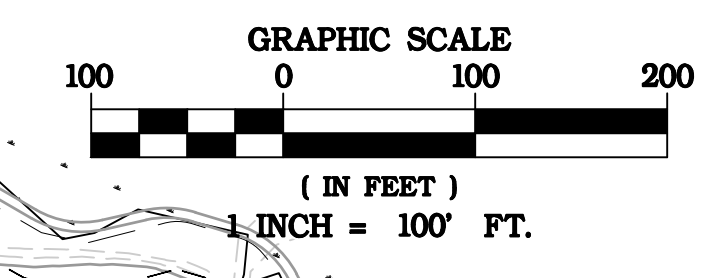
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PHASE 3 EROSION CONTROL NOTES:

1. APPLY PERMANENT VEGETATION (Ds3) AND FINAL STABILIZATION OF THE SITE.
2. INSTALL TEMPORARY SEDIMENT TRAP (Sd2-P) AT ALL STORM DRAIN INLETS WITHIN THE ROADWAY.
3. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONCE THE SITE IS FULLY STABILIZED FOLLOWING ALL LOT CONSTRUCTION.

BMPs TO BE REMOVED AFTER COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION.



OWNER/DEVELOPER
 PRIMARY PERMITEE
 TWELVE PARKS PHASE 2 LLC
 140 VILLAGE CIRCLE
 SENOIA, GA 30276

24 HOUR CONTACT
 MR. DAVID LINDSEY
 (770) 599-1004

LEVEL II CERTIFICATION #: 000012799
 ISSUED: 07/11/2021
 EXPIRES: 07/11/2024



**CIVIL ENGINEERING
 LANDSCAPE ARCHITECTURE
 SITE PLANNING**

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EROSION CONTROL PLAN - PHASE THREE
 FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOCATED IN
 1ST DISTRICT - LAND LOTS 151-152
 CONETA COUNTY, GEORGIA

NO.	DATE	REVISIONS PER COUNTY COMMENTS	INITIAL DATE OF PLANS	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS AND COMMENTS FROM COUNTY		
5	11/22/23	REVISIONS PER COUNTY COMMENTS		
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1	07/07/22	INITIAL DATE OF PLANS		

DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET **8** OF **25**

Disturbed Area Stabilization (With Mulching Only)

DS1

DEFINITION: Applying plant residues or other suitable materials not produced on the site to the soil surface.

PURPOSE:
 - To reduce runoff and erosion.
 - To conserve moisture, prevent surface compaction or crusting.
 - To control undesirable vegetation.
 - To increase biological activity in the soil.

SPECIFICATIONS:
 A. For temporary protection of critical areas without seeding, this standard applies to grades or cleared areas which may be subjected to erosion for 6 months or less, where seedings may not have a suitable growing season to produce an erosion retardant cover, but which can be stabilized with a mulch cover.

SITE PREPARATION:
 1. Grade as needed and feasible, to permit the use of equipment for applying and anchoring mulch.
 2. Install needed erosion control measures as required such as dikes, diversions, berms, terraces and sediment barriers.
 3. As needed, amend, loosen compact soil to a minimum depth of 3 inches.

MULCHING MATERIALS:
 1. Dry straw or hay - spread at a rate of 2 1/2 tons per acre.
 2. Wood waste, chips, sawdust or bark-spread 2 to 3 inches deep (about 6 to 9 tons per acre).
 3. Erosion control matting or netting, such as excelsior, jute, textile and plastic matting and netting - applied in accordance with manufacturers' recommendations.
 4. Cutback asphalt, slow curing-applied at 1200 gallon per acre (or 1/4 inch thick).
 5. Polyethylene film - secured over banks or stockpiled soil materials for temporary protection.

APPLYING AND ANCHORING MULCH:
 1. Apply straw or hay mulch uniformly by hand or mechanically. Anchor as appropriate and feasible. It may be pressed into the soil with a disk harrow with the disk set straight or with a special "tacker disk" the disk may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch but to press in to the soil leaving much of it in an erect position.
 2. Spread wood waste uniformly on slopes that are 3:1 and flatter. No anchoring is needed.
 3. Commercial matting and netting. Follow manufacturer's specification included with the material.
 4. Apply asphalt so area has uniform appearance.
 B. To conserve moisture and control weeds in nurseries, ornamental beds, around shrubs and on bare areas on lawns.

MULCHING MATERIALS:
 use one of the materials given below and apply at thickness indicated.
DEPTH:
 1. Grain straw or grass hay 6" to 10"
 2. Pine needles 4" to 6"
 3. Wood waste (sawdust, bark, chips) 4" to 8"
 4. Shredded residues 4" to 8"
 When using organic mulches, apply 20-30 pounds of nitrogen in addition to the normal amount needed for plant growth to offset the tie up of N by decomposition of mulch.

Disturbed Area Stabilization (With Temporary Seeding)

DS2

DEFINITION: Establishing temporary vegetative cover with fast growing seedlings on disturbed or denuded areas.

PURPOSE:
 - To reduce erosion, sediment and runoff damages to downstream resources.
 - To improve wildlife habitat.
 - To improve aesthetics.
 - To improve safety and public road rights-of-way.
 - To improve lith and add organic matter for permanent plantings.

CONDITIONS:
 This practice is applicable on areas subject to erosion for up to twelve months or until establishment of finished grade or permanent vegetative cover. Temporary vegetative measures should be coordinated with permanent measures to assure economical and effective stabilization.

SPECIFICATIONS:
 A. Grading and Shaping
 1. Excessive water run-off must be controlled by planned and installed erosion control practices such as closed drains, ditches, dikes, diversions, sediment basins and others.
 2. No shaping or grading is required if slopes can be stabilized by hand-seeded vegetation or if hydraulic seeding equipment is to be used.
 B. Seeded Preparation
 1. When a hydraulic seeder is used, seeded preparation is not required.
 2. When using conventional or hand-seeding, seeded preparation is not required if the soil material is loose and not sealed by rainfall.
 3. When soil has been sealed by rainfall or consists of smooth undisturbed cut slopes, the soil shall be plowed, trenched or scarified to provide a place for seed to lodge and germinate.
 C. Lime and Fertilizer
 1. Agricultural lime is not required.
 2. On reasonably fertile soils or soil material, fertilizer is not required.
 3. On soils of very low fertility, use 500 to 700 pounds of 10-10-10 fertilizer or the equivalent per acre (12-16 lbs./1,000 sq. ft.). If the site will permit apply before land preparation and disk, rip or chisel to incorporate.
 D. Seeding
 1. Select a grass or grass-legume mixture suitable to the area and season of the year (Table 6-5.1, p. 134-136, Figure 6-24.1, p. 3-137).
 2. Apply seed uniformly by hand, cyclone seeder, drill, cultipacker-seeder, or hydraulic seeder (slurry including seed and fertilizer). Drill or cultipacker seeders should normally place seed one-half to one inch deep.
 E. Mulching
 Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. See DS1 - Disturbed Area Stabilization, (Without Mulching Only).
 F. Irrigation
 If water is applied, it must be at a rate not causing runoff and erosion. Thoroughly wet the soil to the depth that will insure germination of the seed. Subsequent applications should be made when needed.

CRITICAL AREA VEGETATIVE PLAN

GENERAL:
 This vegetative plan will be carried out on road cut and fill slopes, shoulders and other critical areas created by construction. Seeding will be done as soon as construction in an area is completed. Plantings will be made to control erosion, to reduce damages from sediment and runoff to downstream areas and to improve the safety and beauty of the development area.

SOIL CONDITIONS:
 Due to grading and construction, the areas to be treated are mainly subsoil and subgrade. Fertility is low and physical characteristics of the exposed material are unfavorable to all but the most hardy plants.
TREATMENT SPECIFICATIONS:
 Hydraulic Seeding Equipment:
 When hydraulic seeding and fertilizing equipment is used, no grading and shaping or seeded preparation will be required. The fertilizer, seed and wood cellulose fiber mulch will be mixed with water and applied in a slurry. All slurry ingredients must be combined to form a homogeneous mixture, and spread uniformly over the area within one hour after mixture is made. Straw or hay mulch and asphalt emulsion will be applied with blow-type mulch spreading equipment within 24 hours after seeding. The mulch will be spread uniformly over the area, leaving about 25 percent of the ground surface exposed. The per acre application rates are as follows.

Seeding with mulch (hydraulic seeding equipment on slopes 3:1 and steeper)	Fertilizer, 5-10-15	1500 lbs./acre
Agricultural Limestone #75	4000 lbs./acre	
Mulch (straw or hay) OR Wood Cellulose Fiber Mulch	5000 lbs./acre	
Application Rates/Acre	Planting Dates	
Seed Species		
Seiceae lespedeza, scarified	60 lbs.	
Weeping lovegrass OR Common bermuda, hulled	4 lbs.	3/1 - 6/15
	6 lbs.	
Seiceae lespedeza, unscarified	60 lbs.	
Seiceae lespedeza, unscarified	75 lbs.	11/1 - 2/28
Rye	30 lbs.	
Hay mulch for temporary cover	5000 lbs.	6/17 - 8/31
Fertilizer (Ammonium Nitrate 33.5%)	300 lbs./acre	
C. Second-Year Fertilizer (0-20-20 or equivalent)	500 lbs./acre	

THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO LAND DISTURBING ACTIVITIES.

Table 6-5.1. Fertilizer Requirements

TYPE OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP DRESSING RATE
1. Cool season grasses	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 1/2
	Second	6-12-12	1000 lbs./ac.	30
	Maintenance	10-10-10	400 lbs./ac.	
2. Cool season grasses and legumes	First	6-12-12	1500 lbs./ac.	0-50 lbs./ac. 1/
	Second	0-10-10	1000 lbs./ac.	
	Maintenance	0-10-10	400 lbs./ac.	
3. Ground covers	First	10-10-10	1300 lbs./ac. 3/	
	Second	10-10-10	1300 lbs./ac. 3/	
	Maintenance	10-10-10	1100 lbs./ac.	
4. Pine seedlings	First	20-10-5	one 21-gram pellet per seedling placed in the closing hole	
	Maintenance	0-10-10	700 lbs./ac. 700 lbs./ac. 4/	30 lbs./ac. 5/
5. Warm season grasses	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 2/6/
	Second	6-12-12	800 lbs./ac.	50-100 lbs./ac. 2/
	Maintenance	10-10-10	400 lbs./ac.	30 lbs./ac.
6. Warm season grasses and legumes	First	6-12-12	1500 lbs./ac.	50 lbs./ac. 6/
	Second	0-10-10	1000 lbs./ac.	
	Maintenance	0-10-10	400 lbs./ac.	

SPECIES	BROADCAST RATES		RESOURCE	AREA 4/	PLANTING DATES BY RESOURCE AREAS												REMARKS
	2/RATES PER ACRE	3/PLS PER 1000 FT2			(DOUBLE LINES INDICATE OPTIMUM DATES, SINGLE LINES INDICATE PERMISSIBLE BUT MARGINAL DATES.)												
BARLEY (Hordeum vulgare)	3 bu. (144 lbs.)	3.3 lbs.	P		J	F	M	A	M	J	J	A	S	O	N	D	14,000 SEED PER POUND. WINTER HARDY. USE ON PRODUCTIVE SOILS.
LESPEDEZA, ANNUAL (Lespedeza striata)	1/2 bu. (24 lbs.)	0.6 lbs.			J	F	M	A	M	J	J	A	S	O	N	D	200,000 SEED PER POUND. MAY VOLUNTEER FOR SEVERAL YEARS. USE INOCULANT EL.
LESPEDEZA, PERENNIAL (Lespedeza cuneata)	40 lbs.	0.9 lbs.	P		J	F	M	A	M	J	J	A	S	O	N	D	1,500,000 SEED PER POUND. QUICK DENSE COVER. WILL PROVIDE TOO MUCH COMPETITION IN MIXTURES IF SEEDING AT HIGH RATES.
MILLET, BROWNTOP (Panicum turgidum)	40 lbs.	0.9 lbs.	P		J	F	M	A	M	J	J	A	S	O	N	D	137,000 SEED PER POUND. QUICK DENSE COVER. WILL PROVIDE TOO MUCH COMPETITION IN MIXTURES IF SEEDING AT HIGH RATES.
MILLET, PEARL (Pennisetum glaucum)	10 lbs.	0.2 lbs.			J	F	M	A	M	J	J	A	S	O	N	D	88,000 SEED PER POUND. QUICK DENSE COVER. MAY REACH 5' IN HEIGHT. NOT RECOMMENDED FOR MIXTURES.
OATS (Avena sativa)	4 bu. (28 lbs.)	2.9 lbs.	P		J	F	M	A	M	J	J	A	S	O	N	D	13,000 SEED PER POUND. QUICK DENSE COVER. DROUGHT TOLERANT AND WINTER HARDY.
RYE (Secale cereale)	1 bu. (32 lbs.)	0.7 lbs.			J	F	M	A	M	J	J	A	S	O	N	D	18,000 SEED PER POUND. QUICK COVER. DROUGHT TOLERANT AND WINTER HARDY.
RYEGRASS, ANNUAL (Lolium temulentum)	40 lbs.	0.9 lbs.	P		J	F	M	A	M	J	J	A	S	O	N	D	227,000 SEED PER POUND. QUICK DENSE COVER. COMPETITIVE AND IS NOT TO BE USED IN MIXTURES.
RYEGRASS, PERENNIAL (Lolium perenne)	40 lbs.	0.9 lbs.	P		J	F	M	A	M	J	J	A	S	O	N	D	227,000 SEED PER POUND. QUICK DENSE COVER. COMPETITIVE AND IS NOT TO BE USED IN MIXTURES.
SUDANGRASS (Sorghum sudanense)	N/A	N/A			J	F	M	A	M	J	J	A	S	O	N	D	55,000 SEED PER POUND. GOOD ON DROUGHTY SITES. NOT RECOMMENDED FOR MIXTURES.
WHEAT (Triticum aestivum)	60 lbs.	1.4 lbs.	P		J	F	M	A	M	J	J	A	S	O	N	D	15,000 SEED PER POUND. WINTER HARDY.
WHEAT (Triticum aestivum)	N/A	N/A			J	F	M	A	M	J	J	A	S	O	N	D	15,000 SEED PER POUND. WINTER HARDY.
IN MIXTURES	1/2 bu. (28 lbs.)	0.7 lbs.			J	F	M	A	M	J	J	A	S	O	N	D	

SPECIES	BROADCAST RATES		RESOURCE	AREA 3/	PLANTING DATES BY RESOURCE AREAS												REMARKS
	1/RATES PER ACRE	2/PLS PER 1000 FT2			(DOUBLE LINES INDICATE OPTIMUM DATES, DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES.)												
BAHIA, PENSACOLA (Paspalum notatum)	60 lbs.	1.4 lbs.	P		J	F	M	A	M	J	J	A	S	O	N	D	166,000 SEED PER POUND. LOW GROWING, SOO FORMING. SLOW TO ESTABLISH. PLAN WITH COMPANION CROP. WILL SPREAD INTO BERMUDA PASTURES AND LAWNS. MIX WITH SERICEA LESPEDEZA OR WEEPING LOVEGRASS.
BERMUDA, COMMON (Cynodon dactylon)	10 lbs.	0.2 lbs.	P		J	F	M	A	M	J	J	A	S	O	N	D	1,787,000 SEED PER POUND. LOW GROWING AND SOO FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.
BERMUDA, COMMON (Cynodon dactylon)	10 lbs.	0.2 lbs.	P		J	F	M	A	M	J	J	A	S	O	N	D	PLANT WITH WINTER ANNUALS. PLAN WITH TALL FESCUE.
BERMUDA, SPRIGS (Pennisetum glaucum)	40 cu.ft.	0.9 cu.ft.	P		J	F	M	A	M	J	J	A	S	O	N	D	A CUBIC FOOT CONTAINS APPROXIMATELY 650 SPRIGS. A BUSHEL CONTAINS 1.25 CUBIC FEET OR APPROXIMATELY 800 SPRIGS.
CENTPEDE (Eriochloa sp.)	Block sod only		P		J	F	M	A	M	J	J	A	S	O	N	D	DROUGHT TOLERANT. FULL SUN OR PARTIAL SHADE. EFFECTIVE ADAPTATION TO CONCRETE AND IN CONCENTRATED FLOW AREAS. IRRIGATION IS NEEDED UNTIL FULLY ESTABLISHED. DO NOT PLANT NEAR PASTURES. WINTER HARDY AS FAR NORTH AS ARIZONA AND ATLANTA.

1. REDUCE SEEDING RATES BY 50% WHEN DRILLED. 2. PLS IS AN ABBREVIATION FOR PURE LIVE SEED. 3. P REPRESENTS THE SOUTHERN PIEDMONT MURA.

- 1/ Apply in spring following seeding.
- 2/ Apply in split applications when high rates are used.
- 3/ Apply in 3 split applications.
- 4/ Apply when plants are pruned.
- 5/ Apply to grass species only.
- 6/ Apply when plants grow to a height of 2 to 4 inches.

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CHANNEL LININGS AND STRUCTURAL MEASURES

Ch-1

Where channel velocities exceed safe velocities for vegetated lining due to increased grade or a change in channel cross-section, or where durability of vegetative lining is adversely affected by seasonal changes, channel linings of rock, concrete or other durable material may be needed. Grade stabilization structures may also be needed.

The following categories for flow velocities shall apply when selecting the channel lining:

Category 1 (less than 5 ft/sec*)
Vegetated Lining
 A vegetated lining may be used to stabilize channels with a velocity of less than five ft/s temporary erosion control blankets or sod shall be used on all channels and concentrated flow areas for aid in the establishment of the vegetated lining. Refer to specifications D33 Disturbed Area Stabilization (With Permanent Vegetation), D34 Disturbed Area Stabilization (With Sodding), and Ss ? Slope Stabilization, Hydraulic Erosion Control Products (HECPs) are not intended to be applied in channels, swales or other areas where concentrated flows are anticipated, unless installed in conjunction with Rolled Erosion Control Products (RECPs).

Category 2 (greater than or equal to 5 ft/sec* but less than 10 ft/sec*)
Turf Reinforcement Matting
 Turf Reinforcement Matting (TRM) shall be used, if a vegetated lining is used in channels with velocities greater than or equal to 5 feet/sec but less than 10 ft/sec. TRM is permanent geosynthetic erosion control matting that is used in channels to stabilize the soil while permanent vegetation is rooting, and to provide additional long-term protection.

Velocities in channels when flowing at the bankfull discharge or the 25-year frequency discharge, whichever is the greater, shall be used in determining the appropriate TRM for stabilization of the channels.

APPENDIX 1
 THE EROSION CONTROL PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE FOLLOWING BMPs FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO AN IMPAIRED STREAM SEGMENT AND FOR SITES WHICH EPO HAS APPROVED IN WRITING A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME.
 The four items chosen must be appropriate for the site conditions.

Plan Page #	Included Y/N	Description
6.8	Y	a. During construction activities, double the width of the 25 foot undisturbed vegetated buffer along all State waters requiring a buffer and the 50 foot undisturbed vegetated buffer along all State waters classified as " trout stream" requiring a buffer. During construction activities, EPO will not grant variances to any such buffers that are increased in width.
6.8	Y	b. Increase all temporary sediment basins and retrofitted storm water management basins to provide sediment storage of at least 3600 cubic feet (134 cubic yards) per acre drained.
6.8	Y	d. A large sign (minimum 4 feet x 8 feet) must be posted on site by the actual start date of construction. The sign must be visible from a public roadway. The sign must identify the following: (1) construction site, (2) the permittee(s), (3) the contact person(s) and telephone number(s), and (4) the permittee-hosted website where the Plan can be viewed must be provided on the submitted NOI. The sign must remain on site and the Plan must be available on the provided website under a NOT has been submitted.
6.8	Y	i. Use mulch filter berms, in addition to a silt fence, on the site perimeter wherever construction storm water runoff (sheet flow) may be discharged. Mulch filter berms cannot be placed in waterways or areas of concentrated flow.
6.8	Y	p. Conduct soil tests to identify and to implement site-specific fertilizer needs.

MAINTENANCE STATEMENT:
 ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY.

INSTALLATION STATEMENT:
 THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPE. ALL CUT AND FILL SLOPES SHALL BE SURFACE ROUGHENED AND VEGETATED WITHIN (3) DAYS AFTER GRADING IS COMPLETE.

A DOUBLE ROW OF TYPE "S" SILT FENCE SHALL BE REQUIRED WHEN PLACED WITHIN 200' OF STATE WATERS AND THE TOE OF SLOPES GREATER THAN 10' IN HEIGHT.

EROSION CONTROL NOTES:
 - STORMWATER POLLUTION IS REDUCED BY BMP'S DURING CONSTRUCTION TO REDUCE SEDIMENT IN THE STORMWATER.
 - FINAL SITE STABILIZATION WILL REDUCE POLLUTANTS AFTER CONSTRUCTION.

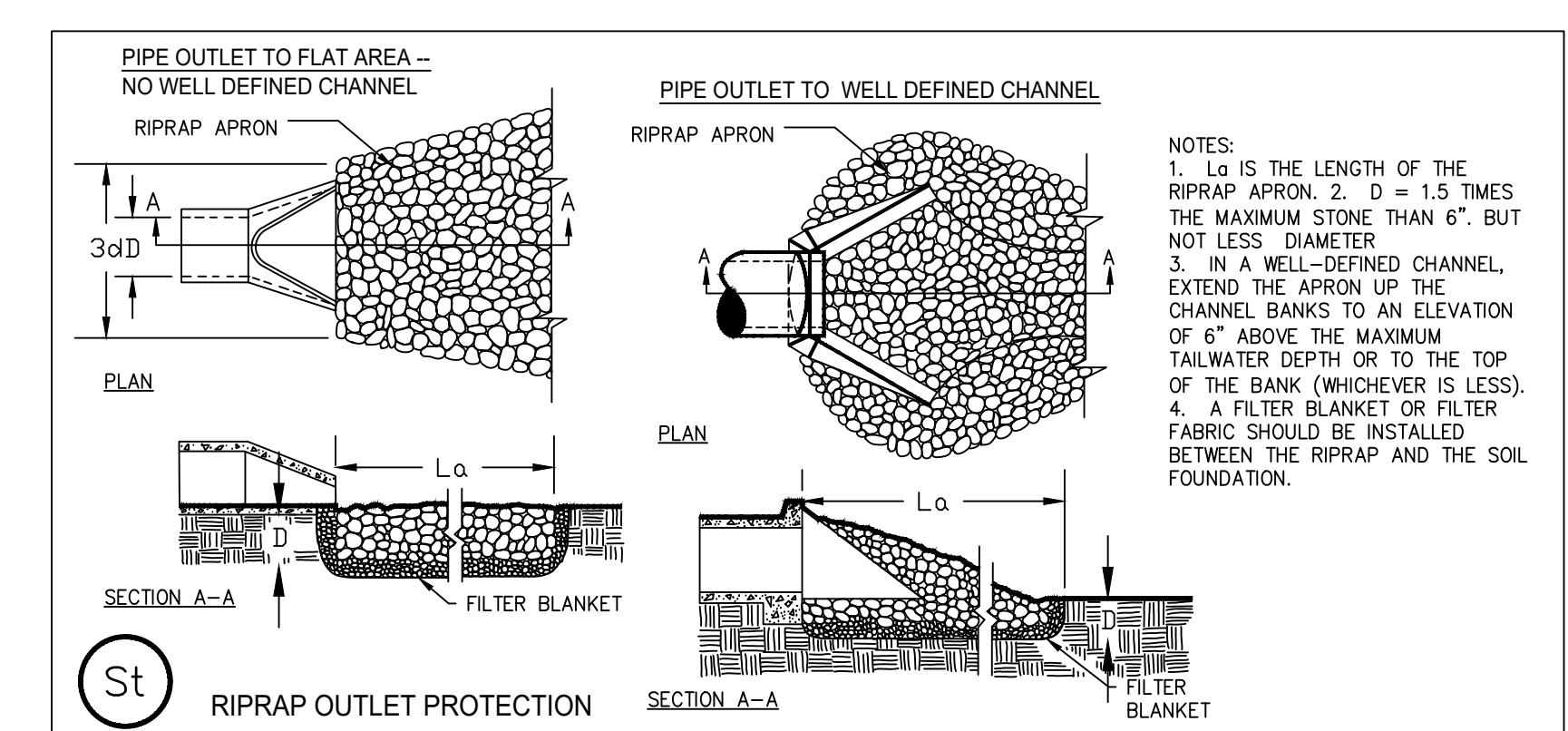
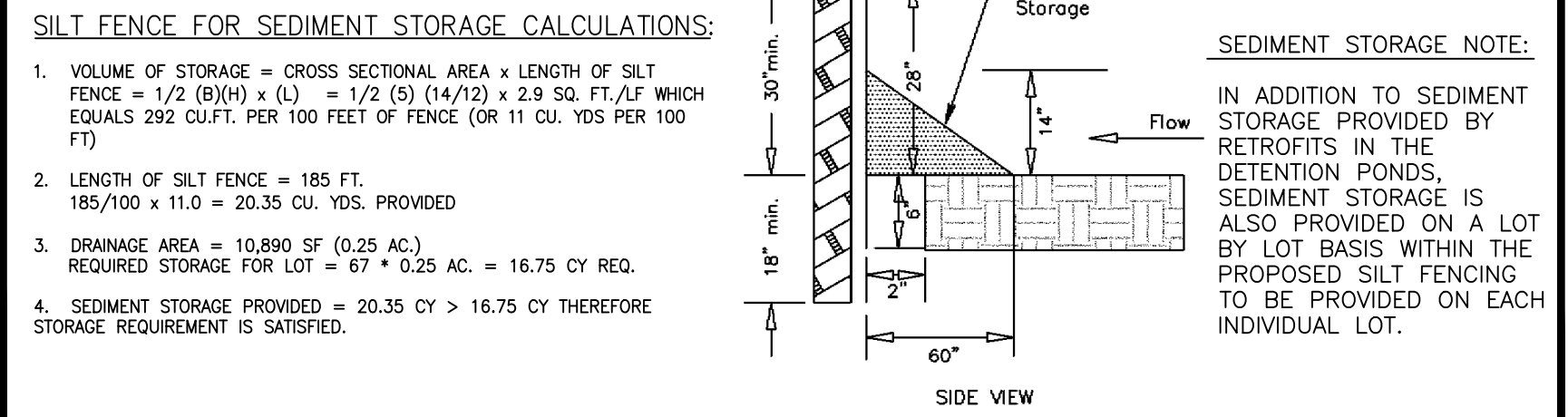
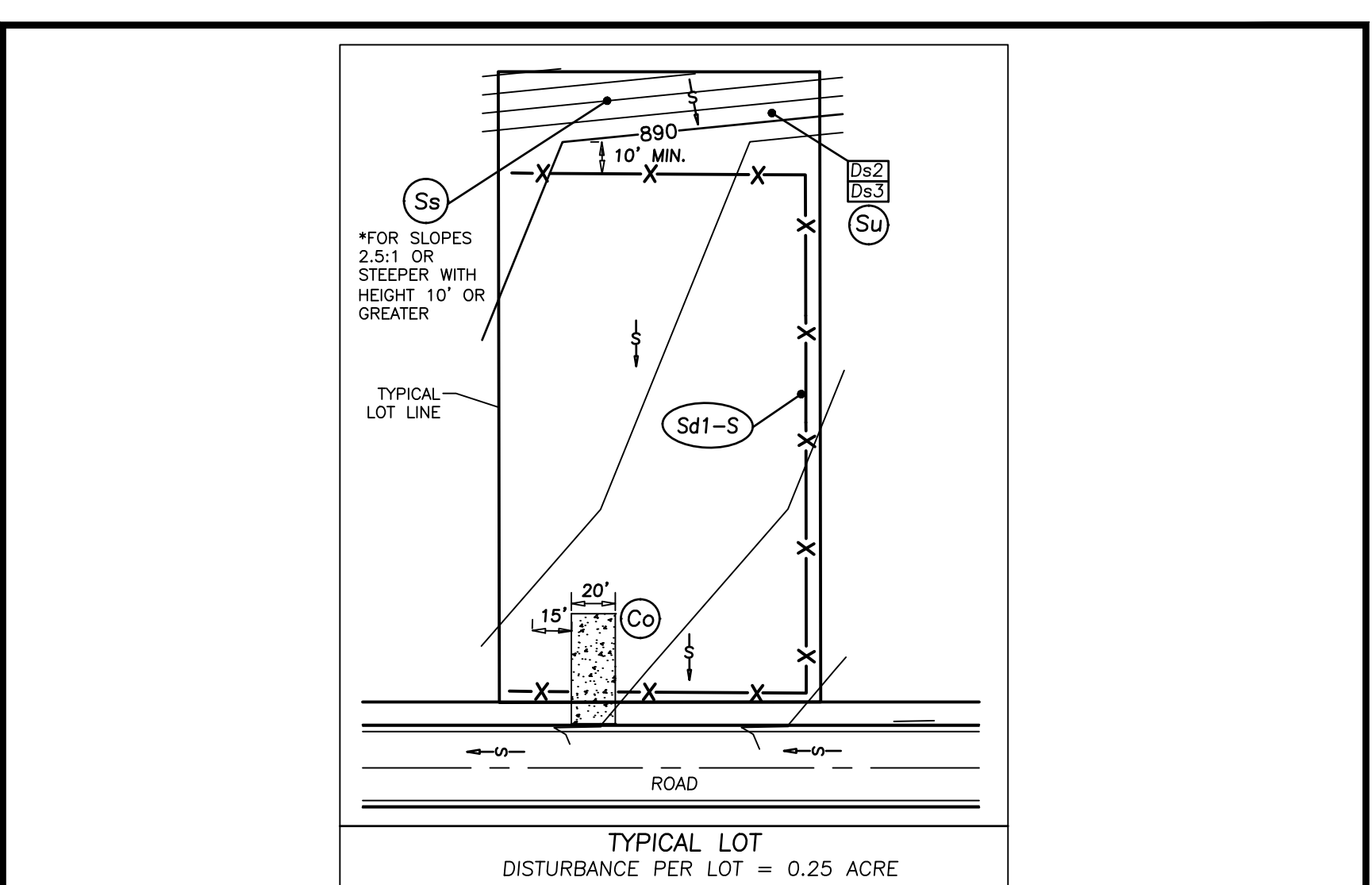
CERTIFICATION: - I CERTIFY UNDER THE PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH SYSTEM DESIGNED TO ASSURE THAT CERTIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO SUBMITTED THE SYSTEM OR THESE PERSONS ARE FULLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

Mr. M. Day
 REPRESENTATIVE

CRITICAL AREA VEGETATIVE PLAN GENERAL:
 THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGES FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

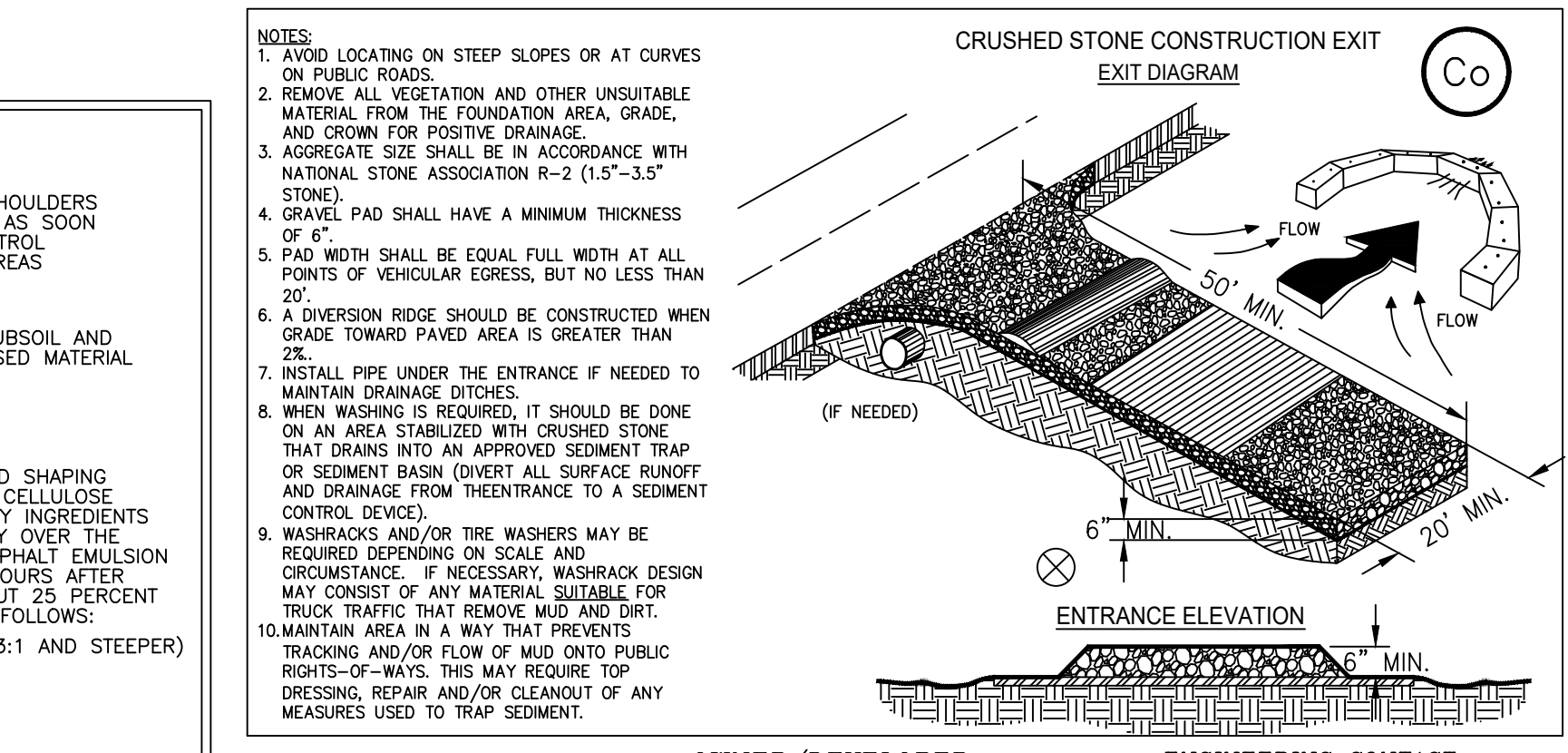
SOIL CONDITIONS:
 WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDING PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE, AND SPREAD UNIFORMY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
SERICEA LESPEDEZA, ACARIFIED	60 LBS	
WEeping LOVEGRASS OR COMMON BERMUDA, HULLED	6 LBS	3/1-6/15
FESCUE	40 LBS	9/1-10/31
SERICEA LESPEDEZA, UNSCARIFIED	60 LBS	
FESCUE	40 LBS	
SERICEA LESPEDEZA, UNSCARIFIED	75 LBS	11/1-2/28
RYE	50 LBS	
HAY MULCH FOR TEMP. COVER	5000 LBS	6/15-8/31
TOPDRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL.		
FERTILIZER (AMMONIUM NITRATE 33.5%)	3000 LBS/ACRE	
C. SECOND-YEAR FERTILIZER: (0-20-20 OR EQUIVALENT)		



TWELVE PARKS - Ph B1 - Rip Rap (St) Calculations

Exit Structure Number	Pipe Diameter (inches)	Q25 (cfs)	V25 (fps)	La (ft)	d(50) (ft)	W1 (ft)	W2 (ft)	D (ft)
SES 22A	18	7.79	6.20	14	0.5	4.5	15.5	0.75
SES 21A	18	4.10	5.30	12	0.5	4.5	13.5	0.75
SES 20A	18	3.50	3.70	12	0.5	4.5	13.5	0.75
HW 14A	54	70.57	4.40	18	0.8	13.5	22.5	1.20
SES 13A	18	5.19	6.10	12	0.5	4.5	13.5	0.75
SES 11A	24	18.37	5.90	14	0.6	6.0	16.0	0.90
HW 2A	48	103.55	8.20	20	0.9	12.0	24.0	1.35
HW 1A	60	260.46	9.40	26	1.2	15.0	31.0	1.80
FLUME #1	48	3.06	3.70	12	0.5	12.0	16.0	0.75



OWNER/DEVELOPER:
 PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
 140 VILLAGE CIRCLE
 SENOIA, GA 30276

2

PROVIDE BMP'S FOR THE REMEDIATION OF ALL PETROLEUM SPILLS & LEAKS

SPILL CLEANUP AND CONTROL PRACTICES:

- LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
- MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIAL AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MOPS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.
- SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED A LFER A SPILL AND ADJUSTED AS NECESSARY TO FUTURE SPILLS.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE AND FEDERAL REGULATIONS.
- FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675.
- FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-425-2675.
- FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.
- FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 560 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTER MEASURES PLAN BY THAT LICENSED PROFESSIONAL.

Spill Cleanup and Control Practices

- Local, state and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel.
 - Material and equipment necessary for spill cleanup will be kept in the material storage areas. Typical materials and equipment includes, but is not limited to, brooms, dustpans, mops, rags, gloves, goggles, cat litter, sand, sawdust and properly labeled plastic and metal waste containers.
 - Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.
 - All spills will be cleaned up immediately upon discovery. All spills will be reported as required by local, state, and federal regulations.
 - FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1 - 800 - 424 - 8802 or 1 - 202 - 426 - 2675.
 - FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1 - 800 - 424 - 8802 or 1 - 202 - 426 - 2675.
 - FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS OCCUR, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.
 - FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS OCCUR, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.
- The contractor shall notify the licensed professional who prepared this Plan if more than 1320 gallons of petroleum is stored onsite (this includes capacities of equipment) or if any one piece of equipment has a capacity greater than 560 gallons. The contractor will need a Spill Prevention Containment and Counter Measures Plan prepared by that licensed professional.

STORMWATER POLLUTANTS

DURING CONSTRUCTION SEVERAL BMP'S WILL BE USED TO CONTROL STORMWATER POLLUTANTS. TEMPORARY AND PERMANENT VEGETATION WILL FILTER AND SLOW WATER. THE PERMANENT DETENTION POND AND RETROFITS (R) WILL CAPTURE FLOWS AFTER THEY LEAVE THE PREVIOUS UPSTREAM MEASURES TO ADD AN ADDITIONAL FILTERING AREA FOR THE POLLUTANTS. AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED, THE SITE WILL BE FINALIZED TO STABILIZED PERMANENT VEGETATION.

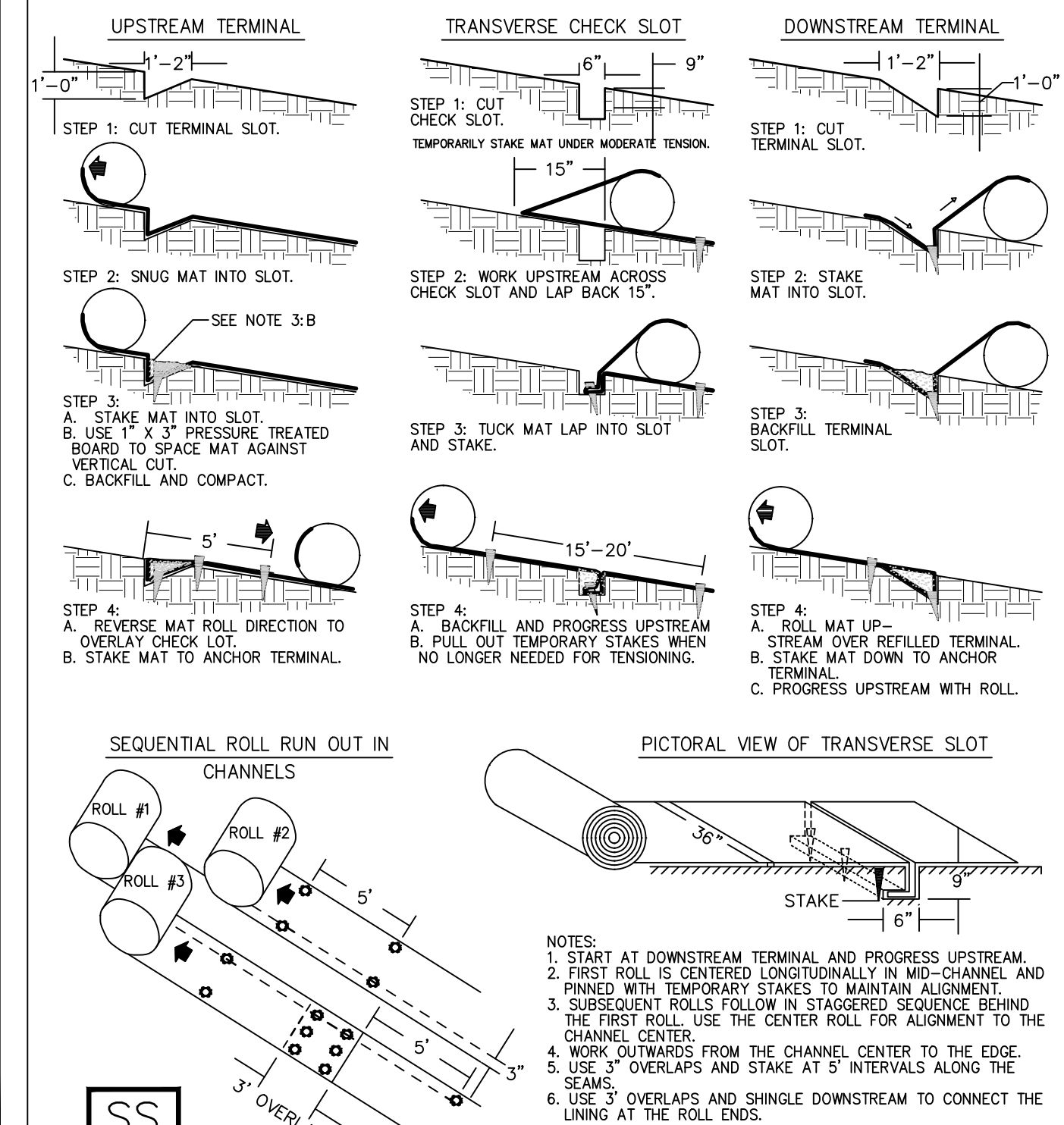
NTU VALUES

STORM WATER IS TO BE SAMPLED FOR NEPHELOMETRIC TURBIDITY UNITS (NTU) AT THE SAMPLE LOCATIONS SHOWN ON THE PLANS. A DISCHARGE OF STORM WATER RUNOFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT PRACTICES HAVE NOT BEEN PROPERLY DESIGNED, INSTALLED, AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH CONDITION RESULTS IN THE TURBIDITY OF THE DISCHARGE EXCEEDING 50 AT THE OUTFALL SAMPLE LOCATIONS. THE VALUE THAT WAS SELECTED FROM APPENDIX B IN PERMIT NO. GAR 100003, THE NTU VALUE IS BASED UPON THE TOTAL SITE ACREAGE OF 46.90 ACRES FOR THE PROJECT SITE. THE SURFACE WATER DRAINAGE OF 0.073 SQUARE MILES, AND RECEIVING WATER WHICH SUPPORTS WARM WATER FISHERIES. THE RECEIVING WATER IS THE KEG CREEK.

NOTE:
ALLOWABLE NTU INCREASE FOR STREAM SAMPLING SHALL BE DOWNSTREAM SAMPLE - UPSTREAM SAMPLE x 25 NTU'S (WARM WATER STREAM).

TYPICAL INSTALLATION GUIDELINES FOR ROLLED EROSION CONTROL PRODUCTS (RECP)

BLANKET AND MATTING CROSS-SECTIONS



- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS."
- "AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL."
- "WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A STATE 404 PERMIT."
- "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES."
- "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."
- "ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING."
- "MAINTENANCE OF ALL EROSION CONTROL MEASURES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES BE THE RESPONSIBILITY OF THE OWNER."
- "NO CUT OR FILL SLOPES STEEPER THAN 2:1 ARE ALLOWED."
- "THE CONTRACTOR WILL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE PUBLIC WORKS DEPARTMENT PRIOR TO FINAL SIGN-OFF."
- "A 50' UNDISTURBED VEGETATIVE BUFFER AND A 75' IMPERVIOUS BUFFER ADJACENT TO ALL RUNNING STREAMS AND CREEKS WILL BE LEFT MAINTAINED. NO NON-EXEMPT ACTIVITIES SHALL TAKE PLACE IN THE BUFFER AREAS WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS."
- "THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERMITTER CONTROL BMPS WITHIN 7 DAYS AFTER INSTALLATION."
- THERE ARE NO PROPOSED BUFFER ENCHROACHMENTS FOR THIS PROJECT.

DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION

DATE OF INSPECTION _____

I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE ES&PC PLAN ON THE DATE ON INSPECTION.

000012799

GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&PC PLAN:

THE DEFENCIES MUST BE ADDRESSED AND AN RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED.

APPENDIX 1 THE ES&PC PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE FOLLOWING BMPS FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO A IMPAIRED STREAM SEGMENT AND FOR SITES WHICH EPD HAS APPROVED IN WRITING A REQUEST TO DISTURB SO AREAS OR MORE AT ANY ONE TIME.

Plan Page #	Included	Y/N
6-8	a.	Y
6-9D	b.	Y
6-8	d.	Y
6-8	y.	Y
6-8	y.	Y

Effective January 1, 2024

*This requirement is different for Infrastructure projects.

Certified personnel for primary permits shall conduct inspections at least once every fourteen (14) calendar days and within 24 hours of the end of the storm that is 0.5 inches rainfall or greater in accordance with Section IV.D.4.a.(3)(a)-(c) of this permit.

SS EROSION CONTROL MATTING AND BLANKETS

DEFINITION
A protective covering (blanket) or soil stabilization mat used to establish permanent vegetation on steep slopes and channels.

PURPOSE
- To provide a microclimate which protects young vegetation and promotes its establishment.
- To reinforce the turf to resist forces of erosion during storm events

CONDITIONS
Matting and blankets can be applied on steep slopes where erosion hazard is high and planting is likely to be low in providing adequate protective cover.

CONCENTRATED FLOW AREAS, ALL SLOPES STEEPER THAN 2.5:1 AND UP TO A HEIGHT OF TEN (10) FEET FOR MATTING, 15 FEET FOR BLANKETS WITHIN STREAM BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.

Maintenance of fine vegetation cover will determine whether to use blankets or matting. On streambanks where moving water is present, matting can prevent new plantings from being washed away.

- PLANNING CONSIDERATIONS**
- Temporary Erosion Control Blankets
 - 1. This includes temporary "combination" blankets (rolled erosion control blankets-RECB) consisting of a plastic netting which covers and is intertwined with a natural organic or manmade mulch, or jute mesh which is typically homogeneous in design.
 - 2. As a minimum shall be used to stabilize concentrated flow areas with a velocity less than 5 ft/sec and slopes 2.5:1 or steeper with a height of 10 feet or greater.
 - Permanent Erosion Control Matting
 - 1. Consists of a permanent non-degradable, three-dimensional plastic structure which can be filled with soil prior to planting.
 - 2. Structures penetrate and become entangled in the matrix, forming a continuous anchorage for surface growth and promoting enhanced energy dissipation.
 - 3. Matting shall be used when a vegetative lining is desired in stormwater conveyance channels where velocity is between 5 and 10 ft/sec.
 - Materials
 - 1. All blanket and matting materials shall be on the GDOT Qualified Products List (GPL) # 62 for blankets, GPL # 49 for matting.
 - 2. All blankets shall be non-toxic to vegetation and to the germination of seed and shall not be injurious to the unprotected skin of humans.
 - 3. At a minimum, matting shall be intertwined with the mulching material/fiber to maximize strength and provide for ease of handling.
 - Site Preparation
 - 1. After clearing and grading, prepare a friable seeded relatively free of debris and rocks that will prevent contact of the soil stabilization mat with the soil surface.
 - 2. Surface must be smoothed to ensure proper contact of blankets or matting to the soil surface. Redirect any runoff from ditch or slope if necessary.
 - Staples
 - 1. For Temporary Blankets which include straw, excelsior, coconut fiber, wood fiber blanket (U-shaped or greater) (11 gauge or greater) with legs at least 6 inches in length and a crown of one inch can be used.
 - 2. For Permanent Matting, sound wood stakes, 1x3 inches stock sawn in a triangular shape shall be used. Select stakes with length of 12 to 18 inches depending on soil compaction. U-shaped staples shall be 11 gauge steel or greater, with legs at a minimum of 8 inches length with a 2 inch crown.
 - Planting
 - 1. For Temporary blankets or jute mesh, lime, fertilizer, and seed shall be applied in accordance with seeding prior to installation.
 - 2. For Permanent Mats, the area must be brought to final grade, plowed, limed & fertilized after the mat has been installed and seeded. The entire area shall be grassed. Refer to Da3 - Disturbed Area Stabilization (with permanent vegetation)
 - 3. Installation
 - See figure 6-7.1 for typical detail of installation guidelines.
 - Follow manufacturer's recommendations for laying and stapling.

CRITICAL WORK ZONE EROSION CONTROL NOTES:

CRITICAL AREAS ON THE PROJECT SITE INCLUDE AREAS ADJACENT TO EXISTING STREAM BUFFERS AS WELL AS SLOPES STEEPER THAN 2.5:1 AND HIGHER THAN 10 FEET. SUCH SLOPES SHALL RECEIVE EROSION CONTROL MATTING. ALL FILL SITES ADJACENT TO EXISTING STREAM BUFFERS SHALL BE PROTECTED WITH A DOUBLE ROW OF SILT FENCING. DIVERSION DITCHES SHALL DIRECT FLOWS AWAY FROM SUCH AREAS TO THE PROPOSED BMPS AS SHOWN.

CLEARING PHASE EROSION CONTROL NOTES:

PRIOR TO THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA SITE INSPECTOR.

THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPED OF ITS NATURAL COVER IS EXPOSED ONLY IN SMALL QUANTITIES.

THE OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.

NO STAGING AREAS, MATERIAL STORAGE, CONCRETE WASH OUT AREAS, OR DEBRIS BURN AND BURAL HOLES SHALL BE LOCATED WITHIN 500 FEET OF DESIGNATED TREE PROTECTION AREAS.

A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE AT ALL TIMES.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXIT FROM THE SITE OR ONTO ANY PUBLIC ROADS.

THE FOLLOWING EROSION INITIAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY.

1. THE CONSTRUCTION EXIT, CONSISTING OF A MINIMUM PAD SIZE OF 20 FEET BY 50 FEET WITH A MINIMUM 1% SLOPE, SHALL BE PLACED AS SHOWN ON THE PLAN. THE STONE SIZE SHOULD CONSIST OF COARSE AGGREGATE BETWEEN 1-1/2" & 1-1/4" IN DIAMETER AND OVERLAP ON A GEOTEXTILE UNDERLIER. THE GEOTEXTILE UNDERLIER SHALL MEET THE REQUIREMENTS OF MSHTO M288-96, SECTION 7.3 SEPARATION REQUIREMENTS.

2. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCE/EXITS, ALL PERMITTER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE CLEARING PHASE EROSION CONTROL PLAN.

3. TYPE "C" SILT FENCE SHOULD BE INSTALLED AT THE PERIMETER OF THE DISTURBED AREA AS SHOWN ON THE PLAN. THE SILT FENCE SHOULD BE PLACED IN ACCORDANCE WITH THE MANUAL FOR EROSION CONTROL IN GEORGIA, TABLE 6-20.2. THE SILT FENCE SHOULD BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR THE PROJECT DESIGN PROFESSIONAL OF RECORD. IT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. THE PERMITTER SILT FENCE SHOULD BE INSPECTED DAILY FOR FAILURES. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.

4. INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM STRUCTURES AS SHOWN ON THE PLAN. SEE SEPARATE DETAILS FOR SPECIFICS OF TYPE OF INLET PROTECTION SPECIFIED.

5. CHECK DAMS SHALL BE INSTALLED IN AREAS DEPICTED AS Cd ON THESE PLANS.

6. TREE PROTECTION FENCING SHOULD BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE ACTIVITY AND MAINTAINED UNTIL FINAL LANDSCAPE IS INSTALLED. THE TREE PROTECTION FENCING SHOULD BE INSPECTED DAILY. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.

AFTER INSTALLATION OF INITIAL EROSION CONTROL MEASURES THE SITE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY THE PROFESSIONAL WHO PREPARED THIS PLAN. CONSTRUCTION ACTIVITIES SHALL OCCUR UNTIL THE PROJECT DESIGN PROFESSIONAL APPROVES THE INSTALLATION OF SAID EROSION CONTROL MEASURES. IF UNFORSEEN CONDITION EXIST IN THE FIELD THAT WARRANT ADDITIONAL EROSION CONTROL MEASURES, THE CONTRACTOR MUST CONSTRUCT ANY ADDITIONAL EROSION CONTROL DEVICES DEEMED NECESSARY BY THE SITE INSPECTOR.

AFTER APPROVAL OF THE INITIAL EROSION CONTROL INSTALLATION, THE CONTRACTOR MAY PROCEED WITH CLEARING AND GRUBBING ACTIVITIES. AS CLEARING PERMITS THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT PONDS AND DIVERSION DIKES AS SHOWN ON THE CLEARING PHASE PLAN TO CONTROL EROSION AND STORM WATER RUN OFF.

THE CONTRACTOR CAN UTILIZE CLEARED TREES AS BARRIER BRUSH SEDIMENT CONTROL IN AREAS SHOWN ON PLAN WHERE INITIAL GRADING ACTIVITIES WILL NOT OCCUR.

NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT WRITTEN PERMISSION BY THE OWNER AND/OR ENGINEER OF RECORD.

ADDITIONAL SILT BARRIERS MUST BE PLACED AS SHOWN ON THE PLAN AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL TAKE PLACE UNTIL SILT FENCING, INSTALLATION AND SEDIMENT PONDS ARE CONSTRUCTED AS SHOWN ON THE CLEARING PHASE EROSION CONTROL PLAN.

ALL SILT FENCE MUST MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCE FOR THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1983 EDITION.

ALL ITEMS IN THE SECTION OF THE SPECIFICATIONS SHALL MEET THE REQUIREMENTS AS SET FORTH IN SECTION 161, 162, 163, AND 164 OF THE GEORGIA D.O.T. STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES.

MULCH OR TEMPORARY GRASS SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF LAND DISTURBANCE.

SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/2 THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3" OF STONE AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS DIRECTED BY THE ON SITE INSPECTOR OR THE CIVIL ENGINEER.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

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FINAL PHASE EROSION CONTROL NOTES:

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE FINAL EROSION CONTROL PHASE OF CONSTRUCTION.

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLETS AGAIN.

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF LAND DISTURBANCE.

SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/2 THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS DIRECTED BY THE ON SITE INSPECTOR OR THE CIVIL ENGINEER.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

UPON COMPLETION OF THE PROJECT AND RECEIPT OF CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND DISPOSE OF THEM UNLESS NOTED ON PLANS.

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GRADING PHASE EROSION CONTROL NOTES:

DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPED OF ITS NATURAL COVER IS EXPOSED ONLY IN SMALL QUANTITIES AND THEREFORE LIMITED DURATIONS, BEFORE PERMANENT EROSION PROTECTION IS ESTABLISHED. NOTE SUB PHASES SHOWN ON PLAN.

EARTHWORK OPERATIONS IN THE VICINITY OF STREAM BUFFERS SHALL BE CAREFULLY CONTROLLED TO AVOID DUMPING OR BLOWING INTO THE BUFFER AREAS.

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE PRELIMINARY PHASE OF CONSTRUCTION.

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLETS AGAIN.

EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY.

THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE BEING MADE.

TYPE "A" SILT FENCE SHOULD BE INSTALLED AT THE TOE OF ALL FILL SLOPES, 10 FEET OR GREATER IN HEIGHT. THE SILT FENCE SHOULD BE PLACED IN ACCORDANCE WITH THE MANUAL FOR EROSION CONTROL IN GEORGIA, TABLE 6-20.2. THE SILT FENCE SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED ON THE SLOPE. SILT FENCE SHALL BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. ADDITIONALLY, DIVERSION DIKES SHALL BE CONSTRUCTED ALONG THE TOP OF SAID FILL SLOPES WITH THE USE OF TEMPORARY DOWN DRAINS TO CONTROL THE STORM WATER RUN OFF.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BARRIERS AT THE TOE OF SLOPES UNDER CONSTRUCTION. THESE BARRIERS SHALL BE SHOWN IN THE PLANS. THESE BARRIERS MAY BE RELOCATED AND REUSED AFTER PERMANENT SLOPE STABILIZATION IS COMPLETED. BARRIERS WITH DEFECTIVE MATERIALS IN THE BARRIER SHALL BE REPLACED. IN ADDITION, ALL DEBRIS AND SILT AT THE PREVIOUS LOCATION SHALL BE REMOVED.

CUT AND FILL SLOPES ARE NOT TO EXCEED "2H:1V"

ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF 10 FEET OR GREATER, AND CUTS AND FILLS WITHIN STREAM BUFFERS, SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKETS. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

TYPE "A" SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL STORM STRUCTURES AS SHOWN ON THE PLAN. SEE PLAN VIEW FOR SPECIFIC TYPE AND SEPARATE DETAILS FOR ADDITIONAL INFORMATION ON TYPE OF INLET PROTECTION SPECIFIED.

STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLET HEADWALLS AS SOON AS HEADWALL IS CONSTRUCTED. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.

ALL DRAINAGE SWALES SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE.

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING.

AFTER PRELIMINARY GRADING ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AND DIVERSION DITCHES AS SHOWN ON PLAN. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SHEDDING WITH PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEARED OUT OF THE POND WHEN IT REACHES 1/3 DEPTH OF BASIN. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/2 THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO THE PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3" OF STONE AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS DIRECTED BY THE ON SITE INSPECTOR OR THE CIVIL ENGINEER.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

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STRUCTURAL PRACTICES

Symbol	Description	Diagram	Notes
Cd	CHECKDAM		A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.
Co	CONSTRUCTION EXIT		A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Ch	CHANNEL STABILIZATION		Improving, constructing or stabilizing an open channel, existing stream, or ditch.
Di	DIVERSION		An earth channel or dike located above, below, or across a slope to divert runoff. This may be a temporary or permanent structure.
Sd1	SEDIMENT BARRIER		A barrier to prevent sediment from leaving the construction site. It may be made of straw, hay, brush, logs and poles, or a silt fence.
Rt	RETRO FITTING		A device or structure placed in front of a permanent stormwater detention pond outlet structure to serve as a temporary sediment filter.
St	STORMDRAIN OUTLET PROTECTION		A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Su	SURFACE ROUGHENING		A rough soil surface with horizontal depressions on a contour or slopes left in a roughened condition after grading.
Tr	TREE PROTECTION		To protect desirable trees from injury during construction activity.

INSPECTION REQUIREMENTS & RECORD KEEPING:

4. Inspections.

a. Primary Permittee:

(1). Each day when any type of construction activity has taken place at a primary permittee's site, certified personnel provided by the primary permittee shall inspect: (a) all areas at the primary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment and (b) all locations at the primary permittee's site where vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted.

(2). Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.

(3). Certified personnel (provided by the primary permittee) shall inspect the following at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the primary permittee's construction site ; (b) areas used by the primary permittee for storage of materials that are exposed to precipitation ; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the primary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.a.(4). These inspections must be conducted until a Notice of Termination is submitted.

(4). Certified personnel (provided by the primary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of the site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s).

(5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection. The primary permittee must amend the Plan in accordance with Part IV.D.4.b.(5). when a secondary permittee notifies the primary permittee of any Plan deficiencies.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.a.(5). of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a construction project that has been phased has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify an incident, the inspection report shall contain a statement that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit.

b. Secondary Permittee:

(1). Each day when any type of construction activity has taken place at a secondary permittee's site, certified personnel provided by the secondary permittee shall inspect: (a) all areas used by the secondary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the secondary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

(2). Certified personnel (provided by the utility companies and utility contractors if they are secondary permittees) shall inspect the following each day any type of construction activity has taken place at the construction site: (a) areas of the construction site disturbed by the utility companies and utility contractors that have not undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region; (b) areas used by the utility companies and utility contractors for storage of materials that are exposed to precipitation that have not undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region or established a crop of annual vegetation and a seeding of target perennials appropriate for the region; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the utility companies and utility contractors' construction activities shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors when they are secondary permittees performing service line installations or when conducting repairs on existing line installations.

(3). Certified personnel (provided by the secondary permittee) shall inspect the following at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the secondary permittee's construction site ; (b) areas used by the secondary permittee for storage of materials that are exposed to precipitation ; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the secondary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.b.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

(4). Certified personnel (provided by the secondary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

INSPECTIONS (CONT.)

(5). Based on the results of each inspection, the secondary permittee must notify the primary permittee within 24-hours of any suspected BMP design deficiencies. The primary permittee must evaluate whether these deficiencies exist within 48-hours of such notice, and if these deficiencies are found to exist must amend the Plan in accordance with Part IV.C. of this permit to address those deficient BMPs within seven (7) days of being notified by the secondary permittee. Where the Plan is amended, the primary permittee must notify and provide a copy of the amendment to all affected secondary permittee(s) within this seven (7) day period. The secondary permittees must implement any new Plan requirements affecting their site(s) within 48-hours of notification by the primary permittee.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.b.(5). of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees performing only service line installations or when conducting repairs on existing line installations.

c. Tertiary Permittee:

(1). Each day when any type of construction activity has taken place at a tertiary permittee's site, certified personnel provided by the tertiary permittee shall inspect: (a) all areas used by the tertiary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the tertiary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

(2). Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.

(3). Certified personnel (provided by the tertiary permittee) shall inspect at least the following once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the tertiary permittee's construction site ; (b) areas used by the tertiary permittee for storage of materials that are exposed to precipitation ; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the tertiary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.c.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

(4). Certified personnel (provided by the tertiary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

(5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following the inspection.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.c.(5) of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

APPENDIX 1 THE ESPRC PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE FOLLOWING BMPs FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO A IMPAIRED STREAM SEGMENT AND FOR SITES WHICH EPD HAS APPROVED IN WRITING A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME. The four items chosen must be appropriate for the site conditions.

Table with 4 columns: Plan Page #, Included, Yes, No. Rows 68, 69, 68, 68.

Effective January 1, 2024

* This requirement is different for infrastructure projects. Certified personnel for primary permittees shall conduct inspections at least once every fourteen (14) calendar days and within 24 hours of the end of the storm that is 0.5 inches rainfall or greater in accordance with Section IV.D.4.a.(9)(c) of this permit.

SAMPLING FREQUENCY AND REPORTING REQUIREMENTS, NOTES

d. Sampling Frequency:

(1). The primary permittee with a total planned disturbance equal to or greater than one (1) acre and tertiary permittee with a total planned disturbance equal to or greater than five (5) acres must sample in accordance with the Plan at least once for each rainfall event described below. For a qualifying event, the permittee shall sample at the beginning of any storm water discharge to a monitored receiving water and/or from a monitored outfall within forty-five (45) minutes or as soon as possible. .

(2). However, where manual and automatic sampling are impossible (as defined in this permit), or are beyond the permittee's control, the permittee shall take samples as soon as possible, but in no case more than twelve (12) hours after the beginning of the storm water discharge.

(3). Sampling by the permittee shall occur for the following qualifying events:

(a). For each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that allows for sampling during normal business hours as defined in this permit after all clearing and grubbing operations have been completed, but prior to completion of mass grading operations, in the drainage area of the location selected as the sampling location;

(b). In addition to (a) above, for each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that occurs during normal business hours as defined in this permit either 90 days after the first sampling event or after all mass grading operations have been completed, but prior to submittal of a NOT, in the drainage area of the location selected as the sampling location, whichever comes first;

(c). At the time of sampling performed pursuant to (a) and (b) above, if BMPs in any area of the site that discharges to a receiving water or from an outfall are not properly designed, installed and maintained, corrective action shall be defined and implemented within two (2) business days, and turbidity samples shall be taken from discharges from that area of the site for each subsequent rain event that reaches or exceeds 0.5 inch during normal business hours until the selected turbidity standard is attained, or until post-storm event inspections determine that BMPs are properly designed, installed and maintained;

(d). Where sampling pursuant to (a), (b) or (c) above is required but not possible (or not required because there was no discharge), the primary permittee, in accordance with Part IV.D.4.a.(6), or the tertiary permittee, in accordance with Part IV.D.4.c.(6), must include a written justification in the inspection report of why sampling was not performed. Providing this justification does not relieve the permittee of any subsequent sampling obligations under (a), (b) or (c) above; and

(e). Existing construction activities, i.e., those that are occurring on or before the effective date of this permit, that have met the sampling required by (a) above shall sample in accordance with (c) above. The existing construction activities that have met the sampling required by (b) above shall not be required to conduct additional sampling other than as required by (c) above.

*Note that the Permittee may choose to meet the requirements of (a) and (b) above by collecting turbidity samples from any rain event that reaches or exceeds 0.5 inch and allows for sampling at any time of the day or week.

7. Non-storm water discharges. Except for flows from fire fighting activities, sources of non-storm water listed in Part III.A.2. of this permit that are combined with storm water during construction activities must be identified in the Plan. The Plan shall identify and ensure the implementation of appropriate pollution prevention measures for the non-storm water component(s) of the discharge.

E. Reporting.

1. The applicable permittees are required to submit the sampling results to the EPD at the address shown in Part II.C. by the fifteenth day of the month following the reporting period. Reporting periods are months during which samples are taken in accordance with this permit. Sampling results shall be in a clearly legible format. Upon written notification, EPD may require the applicable permittee to submit the sampling results on a more frequent basis. Sampling and analysis of any storm water discharge(s) or the receiving water(s) below the minimum frequency stated in this permit must be reported in a similar manner to the EPD. The sampling reports must be signed in accordance with Part V.G.2. Sampling reports must be submitted to EPD until such time as a NOT is submitted in accordance with Part VI.

2. All sampling reports shall include the following information:

- a. The rainfall amount, date, exact place and time of sampling or measurements;
b. The name(s) of the certified personnel who performed the sampling and measurements;
c. The date(s) analyses were performed;
d. The limit(s) of analyses were initiated;
e. The name(s) of the certified personnel who performed the analyses;
f. References and written procedures, when available, for the analytical techniques or methods used;
g. The results of such analyses, including the bench sheets, instrument readouts, computer disks or tapes, etc., used to determine the results;
h. Results which exceed 1000 NTU shall be reported as "exceeds 1000 NTU;" and
i. Certification statement that sampling was conducted as per the Plan.

3. All written correspondence required by this permit shall be submitted by return receipt certified mail (or similar service) to the appropriate District Office of the EPD according to the schedule in Appendix A of this permit. The applicable permittees shall retain a copy of the proof of submittal at the construction site or the proof of submittal shall be readily available at a designated location from commencement of construction until such time as a NOT is submitted in accordance with Part VI. If an electronic submittal is provided by EPD then the written correspondence may be submitted electronically; if required, a paper copy must also be submitted by return receipt certified mail or similar service.

NPDES NOTES

DESCRIPTION AND IMPLEMENTATION OF WASTE DISPOSAL CONTROLS:

HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LINED METAL DUMPSTER RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE, AS NECESSARY, AND THE TRASH AND CONSTRUCTION DEBRIS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AND THE INDIVIDUAL WHO MANAGES THE DAY TO DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE TRAINED IN THESE PRACTICES AND THE INDIVIDUAL WHO MANAGES DAY TO DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE: ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.

OFFSITE VEHICLE TRACKING: A STABILIZED CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE MAINTAINED. ALL TIRES AND DRUMS OR ROOK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/LINEN.

SPILL PREVENTION: THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

- GOOD HOUSEKEEPING:
-AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB
-ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE
-PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURERS LABEL
-SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER
-WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER
-MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED
-THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE

HAZARDOUS PRODUCTS:
-PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE
-ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION
-IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED

PETROLEUM PRODUCTS: ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS: FERTILIZERS USED WILL BE APPLIED IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE COVERED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS INSTRUCTIONS OF STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS: CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

EROSION & SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES: THESE ARE THE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS:

- LESS THAN ONE HALF OF THE SITE WILL BE DENUDATED AT ONE TIME.
-ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING AN STORM EVENT OF 0.5 INCHES OR GREATER.
-ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
-BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT FO THE FENCE.
-SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS AND ARE FIRMLY IN THE GROUND.
-THE SEDIMENT BASIN WILL BE INSPECTED FOR DEPTH OF SEDIMENT AND, BUILD UP SEDIMENT WILL BE REMOVED WHEN IT REACHES TO 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF EACH RAINFALL EVENT.
-DIVERSION DIKE WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED. -TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
-A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.

RETENTION OF RECORDS REQUIREMENTS, NOTES

F. Retention of Records.

1. The primary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- a. A copy of all Notices of Intent submitted to EPD;
b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
d. A copy of all sampling information, results, and reports required by this permit;
e. A copy of all inspection reports generated in accordance with Part IV.D.4.a. of this permit;
f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit; and
g. Daily rainfall information collected in accordance with Part IV.D.4.a.(2). of this permit.

2. Each secondary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- a. A copy of all Notices of Intent submitted to EPD;
b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit or the applicable portion of the Erosion, Sedimentation and Pollution Control Plan for their activities at the construction site required by this permit;
c. A copy of all inspection reports generated in accordance with Part IV.D.4.b. of this permit; and
d. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit.

3. Each tertiary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- a. A copy of all Notices of Intent submitted to EPD;
b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
d. A copy of all sampling information, results, and reports required by this permit;
e. A copy of all inspection reports generated in accordance with Part IV.D.4.c. of this permit;
f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit; and
g. Daily rainfall information collected in accordance with Part IV.D.4.c.(2). of this permit.

4. Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI of this permit. These records must be maintained at the permittee's primary place of business once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.

SAMPLING METHODS & ANALYSIS NOTES

b. Sample Type. All sampling shall be collected by "grab samples" and the analysis of these samples must be conducted in accordance with methodology and test procedures established by 40 CFR Part 136 in accordance with the following procedures (unless otherwise approved): the guidance document titled "NPDES Storm Water Sampling Guidance Document, EPA 833-B-92-001" and guidance documents that may be prepared by the EPD.

(1). Sample containers should be labeled prior to collecting the samples.

(2). Samples should be well mixed before transferring to a secondary container.

(3). Large mouth, clean and rinsed glass or plastic jars shall be used for collecting samples. The jars should be cleaned thoroughly to avoid contamination.

(4). Manual, automatic or rising stage sampling may be utilized. Samples required by this permit should be analyzed immediately, but in no case later than 48 hours after collection. However, samples from automated rising stage samplers must be collected no later than the next business day after their accumulation, unless flow through automated analysis is utilized. If automatic sampling is utilized and the automatic sampler is not activated during the qualifying event, the permittee must utilize manual sampling or rising stage sampling during the next qualifying event. Dilution of samples is not required. Samples may be analyzed using a direct reading, properly calibrated turbidimeter. Samples are not required to be cooled.

(5). Sampling and analysis of the receiving water(s) or outfalls beyond the minimum frequency stated in this permit must be reported to EPD as specified in Part IV.E.

c. Sampling Points.

(1). For construction activities the primary permittee with a total planned disturbance equal to or greater than one (1) acre and tertiary permittee with a total planned disturbance equal to or greater than five (5) acres must sample all receiving water(s), or all outfall(s), or a combination of receiving water(s) and outfall(s). Samples taken for the purpose of compliance with this permit shall be representative of the monitored activity and representative of the water quality of the receiving water(s) and/or the storm water outfalls using the following minimum guidelines:

(a). The upstream sample for each receiving water(s) must be taken immediately upstream of the confluence of the first storm water discharge from the permitted activity (i.e., the discharge farthest upstream at the site) but downstream of any other storm water discharges not associated with the permitted activity. Where appropriate, several upstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the upstream turbidity value.

(b). The downstream sample for each receiving water(s) must be taken downstream of the confluence of the last storm water discharge from the permitted activity (i.e., the discharge farthest downstream at the site) but upstream of any other storm water discharge not associated with the permitted activity. Where appropriate, several downstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the downstream turbidity value.

(c). Ideally the samples should be taken from the horizontal and vertical center of the receiving water(s) or the storm water outfall channel(s).

(d). Care should be taken to avoid stirring the bottom sediments in the receiving water(s) or in the outfall storm water channel.

(e). The sampling container should be held so that the opening faces upstream.

(f). The samples should be kept free from floating debris.

(g). Permittees do not have to sample sheetflow that flows onto undisturbed natural areas or areas stabilized by the project. For purposes of this section, stabilized shall mean, for unpaved areas, and areas not covered by permanent structures and areas located outside the waste disposal limits of a landfill cell that has been certified by EPD for waste disposal, 100% of the soil surface is uniformly covered in permanent vegetation with a density of 70% or greater, or landscaped according to the Plan (uniformly covered with landscaping materials in planned landscaped areas) or equivalent permanent stabilization measures as defined in the Manual (excluding a crop of annual vegetation and seeding of target crop perennials appropriate for the region).

(h). All sampling pursuant to this permit must be done in such a way (including generally accepted sampling methods, locations, timing, and frequency) as to accurately reflect whether storm water runoff from the construction site is in compliance with the standard set forth in Parts III.D.3. or III.D.4., whichever is applicable.

OWNER/DEVELOPER PRIMARY PERMITEE TWELVE PARKS PHASE 2 LLC 140 VILLAGE CIRCLE SENOIA, GA 30276

ENGINEERING CONTACT: DAY DESIGN GROUP, INC. GINA M. DAY (770) 271-4676 ddg@daydesigngroup.com

24 HOUR CONTACT MR. DAVID LINDSEY (770) 599-1004

SURVEY CONTACT NORTHEAST LAND SURVEYING, LLC P.O. BOX 384 BRASELTON, GA 30517 KEVIN CANN 678-776-7494

LEVEL II CERTIFICATION #: 0000012799

ISSUED: 07/11/2021

EXPIRES: 07/11/2024

Mr. M. Day



CIVIL ENGINEERING LANDSCAPE ARCHITECTURE SITE PLANNING (770) 271-4676 ph. (706) 389-8568 fx. ddg@daydesigngroup.com www.daydesigngroup.com



EROSION CONTROL NOTES & DETAILS FOR TWELVE PARKS - PHASE BI PROPOSED RESIDENTIAL DEVELOPMENT LOCATED IN LAND LOTS 151 - 152 1ST DISTRICT - COWETA COUNTY, GEORGIA

Table with 4 columns: REVISIONS PER COUNTY COMMENTS AND SHEET NUMBER, REVISIONS PER COUNTY COMMENTS, INITIAL DATE OF PLANS, NO., DATE, DESCRIPTION.

DATE: 04/10/23 DRAWN BY: GMD JOB NO.: 07-110

SHEET 9C OF 25

Plan	Included	To BE SHOWN ON ES&PC PLAN
Page #	Y/N	
9D	Y	
6-9D	Y	
6-9D	Y	
6-9D	Y	
6-9D	Y	
1&6	Y	
1&6	Y	
6-9D	Y	
1&6	Y	
1	Y	
6	Y	
6	Y	
1&9B	Y	
9b	Y	
9b	Y	
9b	Y	
9b	Y	
9b	Y	
9b	Y	
9b	Y	
9b	Y	
9b	Y	
7	N/A	
7	N/A	
7	Y	
9b	Y	
7	Y	
9b	Y	
9b	Y	
9b	Y	
9b	Y	
9C	Y	
9C	N	
9C	Y	
9b	Y	
9b	Y	
6-8	N	
9b	Y	
6-9C	Y	
6-8	Y	
6-8	Y	
9D	Y	
9D	Y	
6-8	Y	
6-8	Y	
HYDRO	Y	
7	Y	
9A	Y	

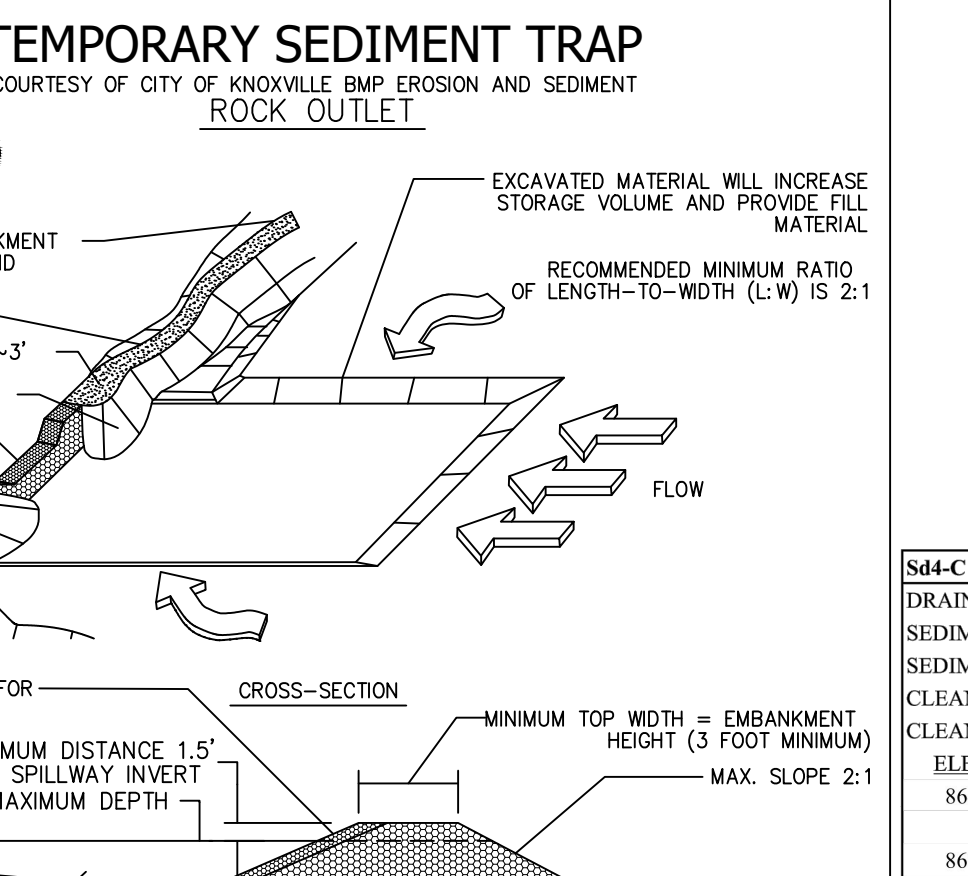
6	Y	49 Soil series for the project site and their delineation.
6-8	Y	50 The limits of disturbance for each phase of construction.
9D	Y	51 Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the Plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual must be included for structural BMPs and all calculations used by the design professional to obtain the required sediment storage when using equivalent controls. When discharging from sediment basins and impoundments, permits are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the Plan.
9B	Y	52 Location of Best Management Practices that are consistent with, and no less stringent than, the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.
6-9D	Y	53 Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.
6-9A	Y	54 Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia. *This requirement of the Common Development permit is not applicable to Tertiary Permits with a Plan(s) for a typical individual lot(s), if the total land disturbance within the construction site is less than five (5) acres and the total land disturbance within each individual lot is less than one (1) acre. If applicable, the " checklist item would be N/A. Effective January 1, 2024

LEVEL II CERTIFICATION #: 0000012799
ISSUED: 07/11/2021
EXPIRES: 07/11/2024 *Ma M Day*
OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276

24 HOUR CONTACT
MR. DAVID LINDSEY
(770) 599-1004

APPENDIX 1
THE ES&PC PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE FOLLOWING BMPs FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO AN IMPAIRED STREAM SEGMENT AND FOR SITES WHICH EPD HAS APPROVED IN WRITING A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME.
 The four items chosen must be appropriate for the site conditions.

Plan	Included	
Page #	Y/N	
6-8	Y	a. During construction activities, double the width of the 25 foot undisturbed vegetated buffer along all State waters requiring a buffer and the 50 foot undisturbed vegetated buffer along all State waters classified as "trout streams" requiring a buffer. During construction activities, EPD will not grant variances to any such buffers that are increased in width.
6-9D	Y	b. Increase all temporary sediment basins and retrofitted storm water management basins to provide sediment storage of at least 3600 cubic feet (134 cubic yards) per acre drained.
6-8	Y	c. A large sign (minimum 4 feet x 8 feet) must be posted on site by the actual start date of construction. The sign must be visible from a public roadway. The sign must identify the following: (1) construction site, (2) the permittee(s), (3) the contact person(s) and telephone number(s), and (4) the permittee-hosted website where the Plan can be viewed must be provided on the submitted NOI. The sign must remain on site and the Plan must be available on the provided website until a NOT has been submitted.
6-8	Y	d. Use mulch filter berms, in addition to a silt fence, on the site perimeter wherever construction storm water (including sheet flow) may be discharged. Mulch filter berms cannot be placed in waterways or areas of concentrated flow.
6-8	Y	e. Conduct soil tests to identify and to implement site-specific fertilizer needs. Effective January 1, 2024

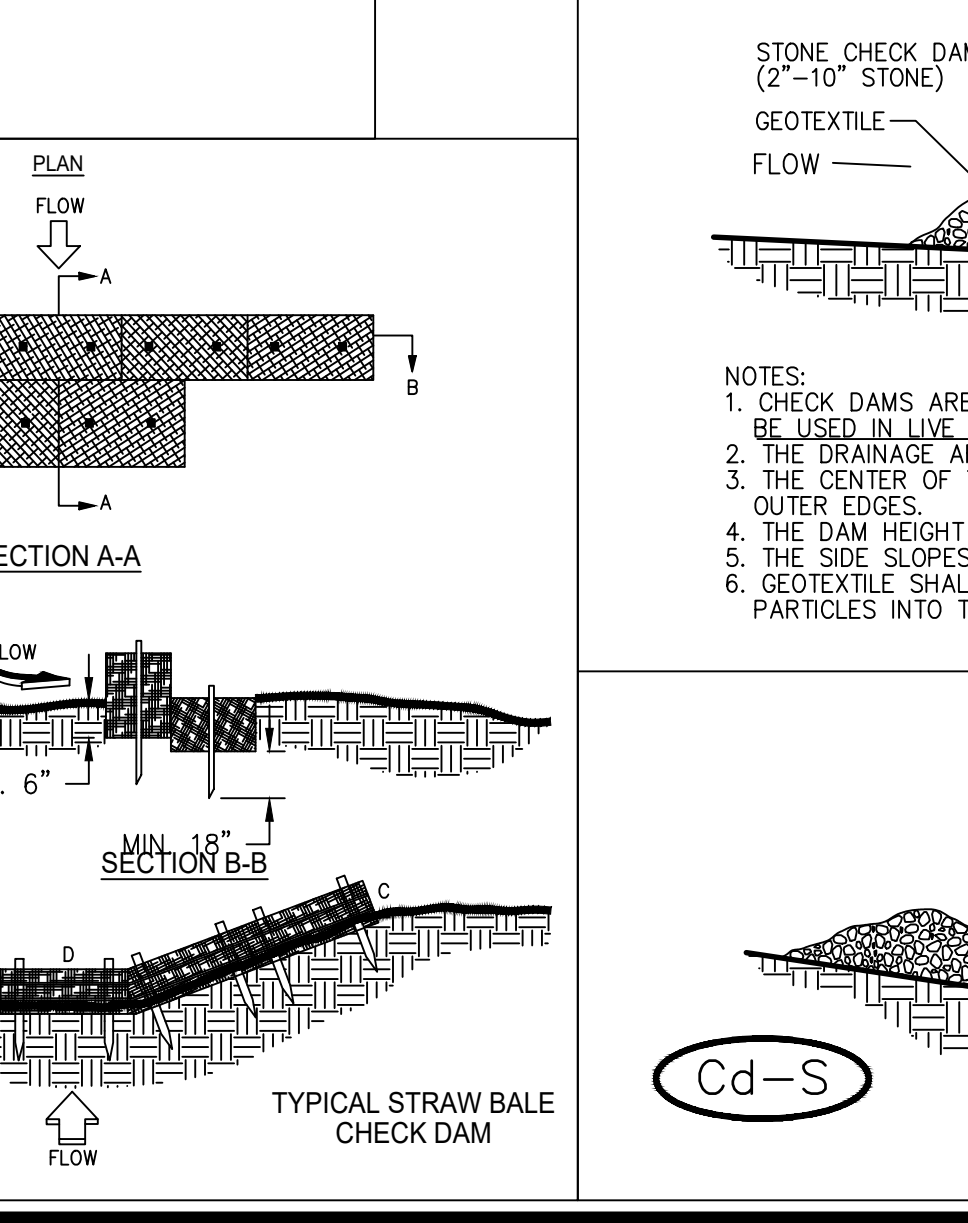
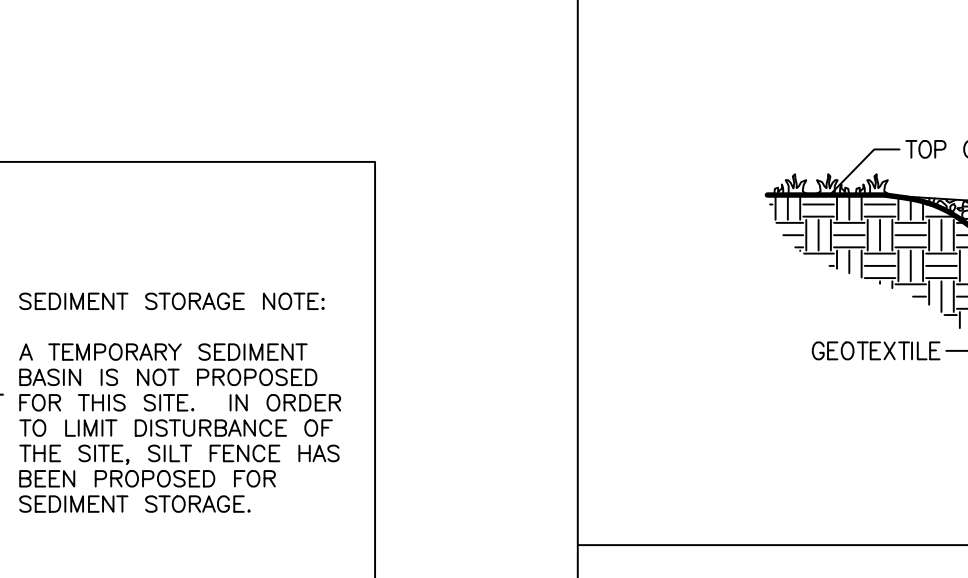
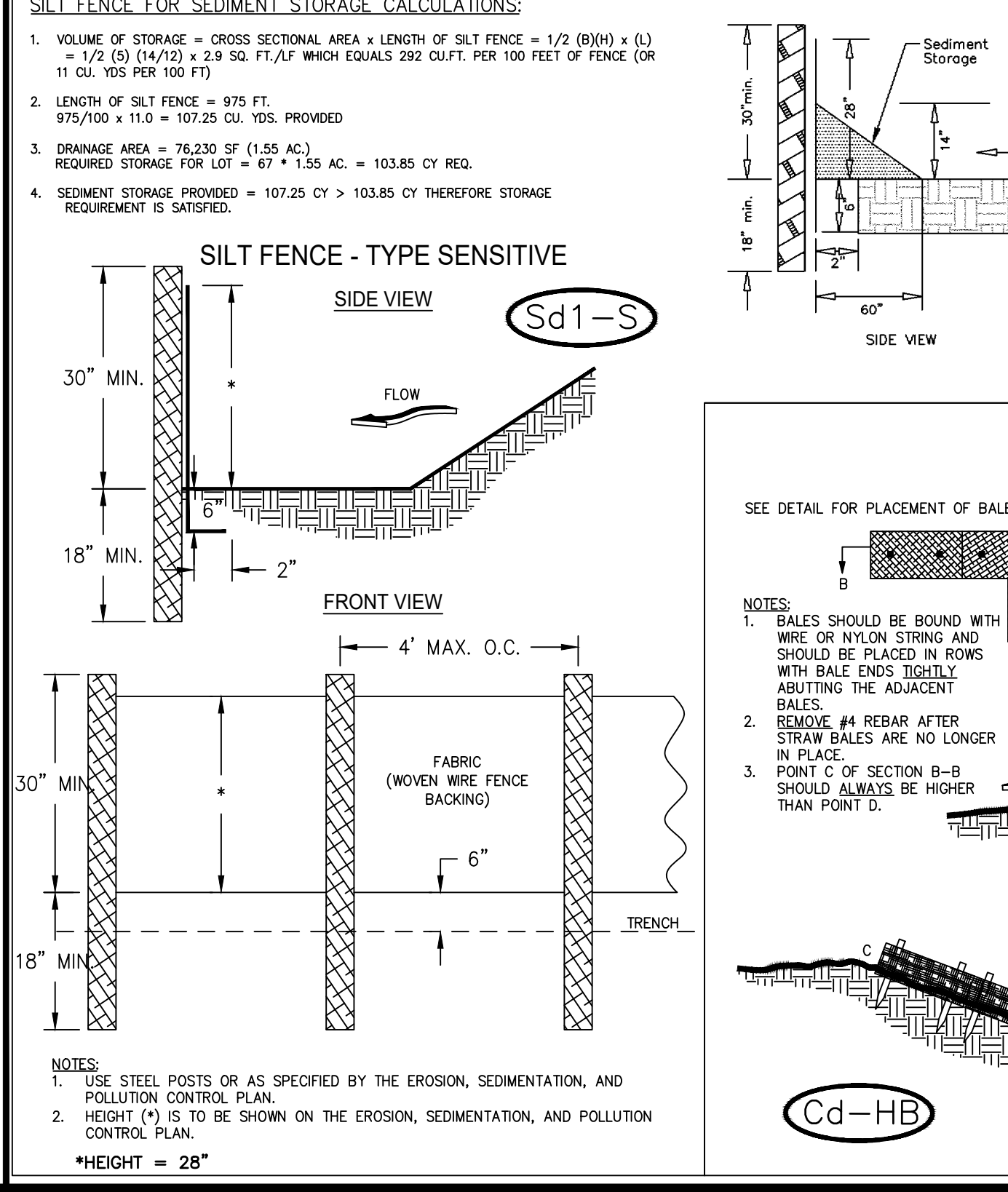


Sd4-C #1 (Phases 1&2)

Drainage Area =	7.15	X	134.00	=	958.10 cy
Sediment Storage Required:	7.15	X	134.00	=	958.10 cy
Sediment Storage Provided:	958.10	/ 3 cy		=	319.37 cy
Clean Out Volume:				=	865.28 cy
Elev	Area	diff Elev	Inc Vol	Sum Vol	
864	5,300.00	2.00	13,490.00	0.00	0.00 cy
866	8,190.00	2.00	19,570.00	13,490.00	499.63 cy
868	11,380.00	2.00	26,240.00	33,060.00	1,224.44 cy
870	14,860.00	2.00	39,300.00	59,300.00	2,196.30 cy

Sd4-C #2 (Phases 1&2)

Drainage Area =	2.85	X	134.00	=	381.90 cy
Sediment Storage Required:	2.85	X	134.00	=	381.90 cy
Sediment Storage Provided:	381.90	/ 3 cy		=	127.30 cy
Clean Out Volume:				=	855.10 cy
Elev	Area	diff Elev	Inc Vol	Sum Vol	
852	810.00	2.00	2,220.00	0.00	0.00 cy
854	1,410.00	2.00	3,560.00	2,220.00	82.22 cy
856	2,150.00	2.00	5,140.00	5,780.00	214.07 cy
858	2,990.00	2.00	10,920.00	10,920.00	404.44 cy



Rt AT POND B1 - STORAGE CALCULATIONS:

- REQUIRED STORMWATER STORAGE = 8,853.63 CY
- REQUIRED SEDIMENT STORAGE = 3,303.1 CY (134 CY x 24.65 AC)
- TOTAL REQUIRED STORAGE = 12,156.73 CY
- AVAILABLE STORAGE = 15,364.67 CY
- IS THE AVAILABLE STORAGE GREATER THAN THE TOTAL REQUIRED STORAGE? YES
- CLEAN-OUT ELEVATION = 840.80 (ELEV. CORRESPONDING TO 22 CY/AC)
- IS THE LENGTH TO WIDTH RATIO 2:1 OR GREATER? YES

USE A 48" DIA. x 3' HIGH HALF-ROUND CMP RETROFIT

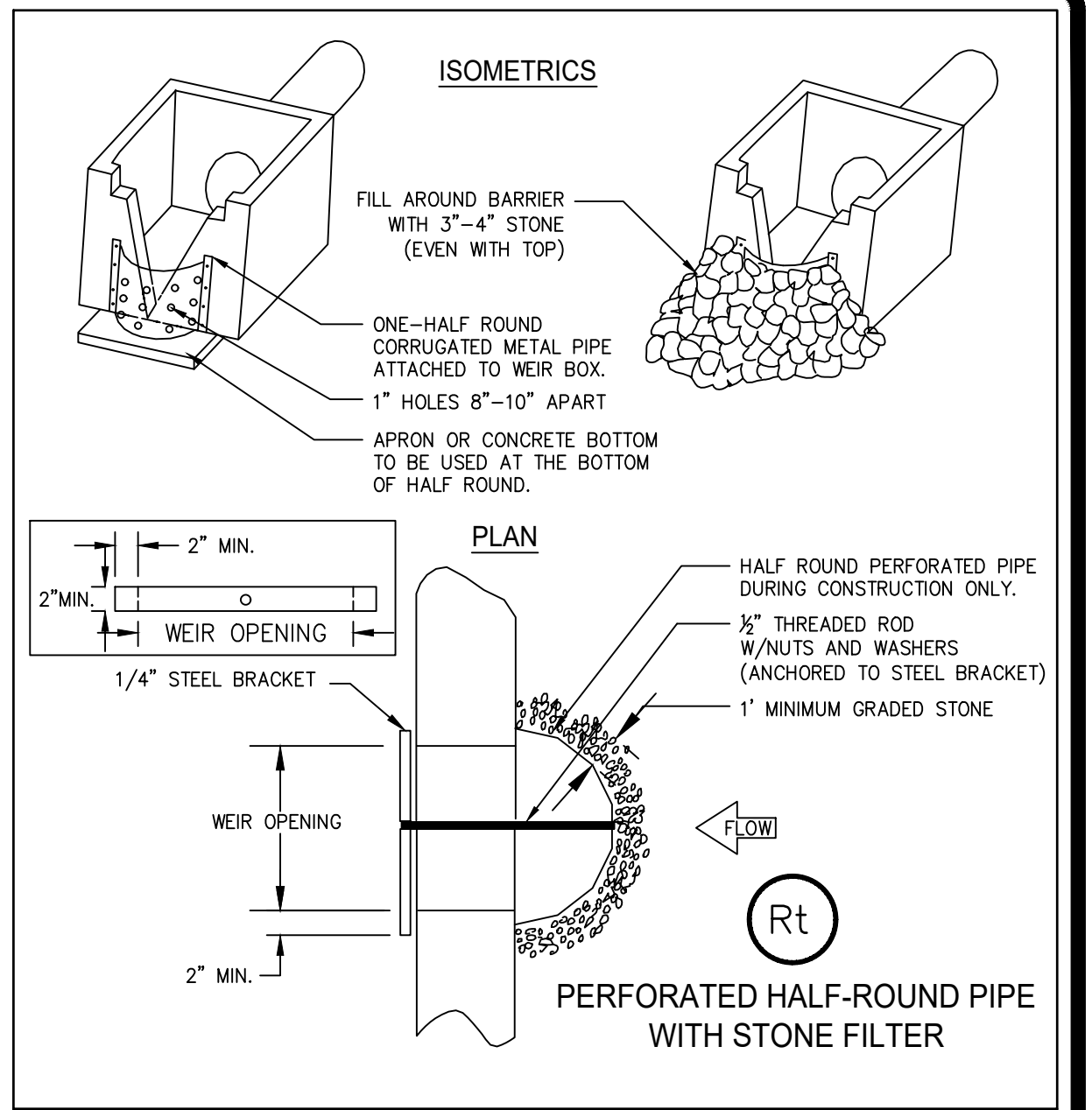
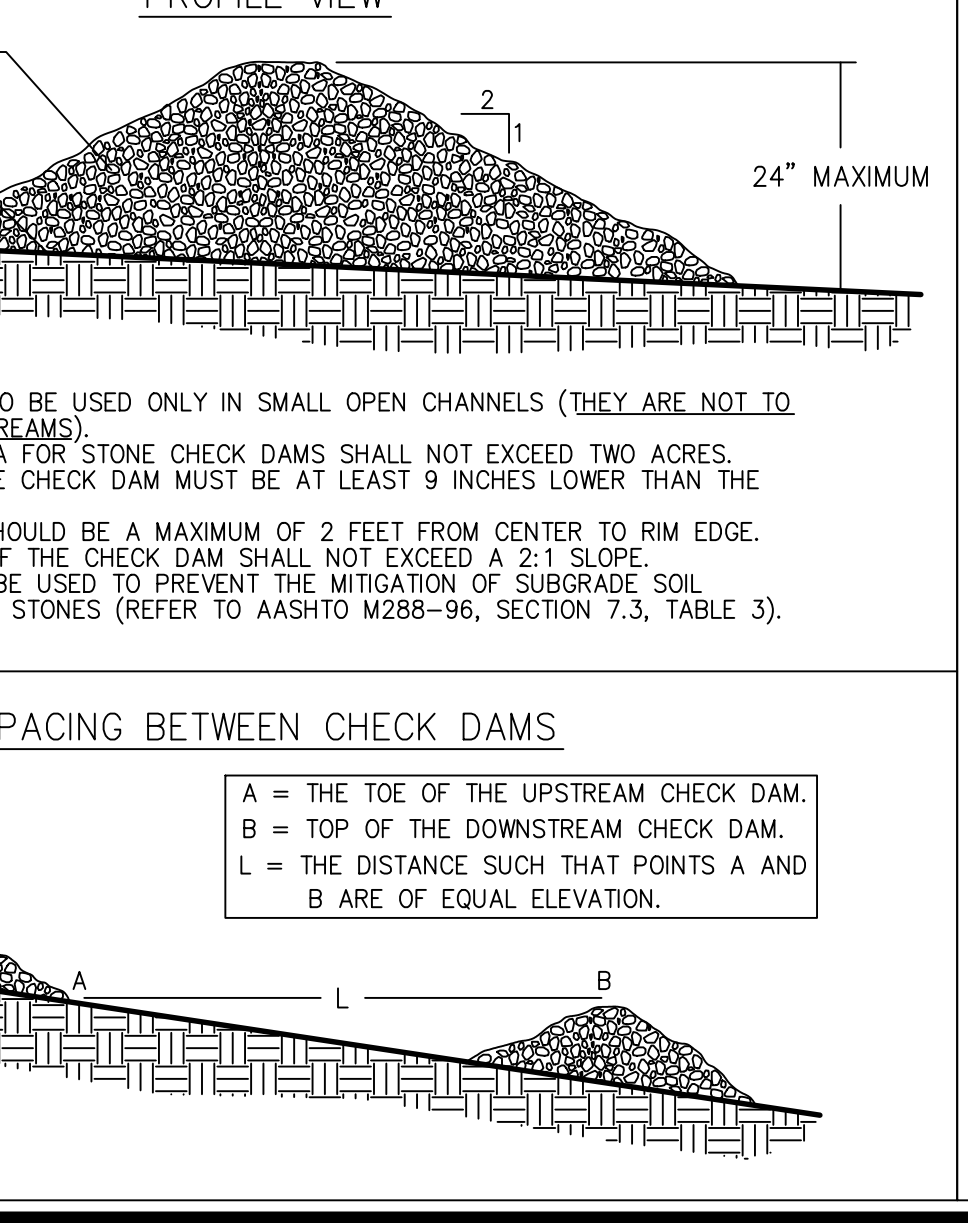
Rt AT POND B1.4-A - STORAGE CALCULATIONS:

- REQUIRED STORMWATER STORAGE = 930.56 CY
- REQUIRED SEDIMENT STORAGE = 899.14 CY (134 CY x 6.71 AC)
- TOTAL REQUIRED STORAGE = 1,829.70 CY
- AVAILABLE STORAGE = 3,808.04 CY
- IS THE AVAILABLE STORAGE GREATER THAN THE TOTAL REQUIRED STORAGE? YES
- CLEAN-OUT ELEVATION = 908.70 (ELEV. CORRESPONDING TO 22 CY/AC)
- IS THE LENGTH TO WIDTH RATIO 2:1 OR GREATER? YES

USE A 48" DIA. x 3' HIGH HALF-ROUND CMP RETROFIT

TOTAL REQUIRED SEDIMENT STORAGE = 6,767.0 (50.5 X 134)
TOTAL SEDIMENT STORAGE PROVIDED IN RT'S = 9,388.52 CY

WRITTEN RATIONALE FOR RT'S:
 WE HAVE DESIGNED THE SEDIMENT CONTROL TO BE PROVIDED IN EACH OF THE DETENTION PONDS USING AN RT BMP DEVICE. WE CHOSE NOT TO USE THE SKIMMER, SK DEVICE DUE TO IT'S INEFFICIENCY AND TENDENCY TO FAIL.



NOTE:
 REFERENCE Sd4-C DETAILS & CALCULATIONS FOR ADDITIONAL SEDIMENT STORAGE PROVIDED IN PHASES 1 & 2 EROSION CONTROL FOR SUB-BASINS THAT BYPASS PONDS.

NOTE:
 DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
 2. THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
 3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
 4. THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.

NOTE:
 1. CHECK DAMS ARE TO BE USED ONLY IN SMALL OPEN CHANNELS (THEY ARE NOT TO BE USED IN LIVE STREAMS).
 2. THE DRAINAGE AREA FOR STONE CHECK DAMS SHALL NOT EXCEED TWO ACRES.
 3. THE CENTER OF THE CHECK DAM MUST BE AT LEAST 9 INCHES LOWER THAN THE OUTER EDGES.
 4. THE DAM HEIGHT SHOULD BE A MAXIMUM OF 2 FEET FROM CENTER TO RIM EDGE.
 5. THE SIDE SLOPES OF THE CHECK DAM SHALL NOT EXCEED A 2:1 SLOPE.
 6. GEOTEXTILE SHALL BE USED TO PREVENT THE MITIGATION OF SUBGRADE SOIL PARTICLES INTO THE STONES (REFER TO AASHTO M288-96, SECTION 7.3, TABLE 3).



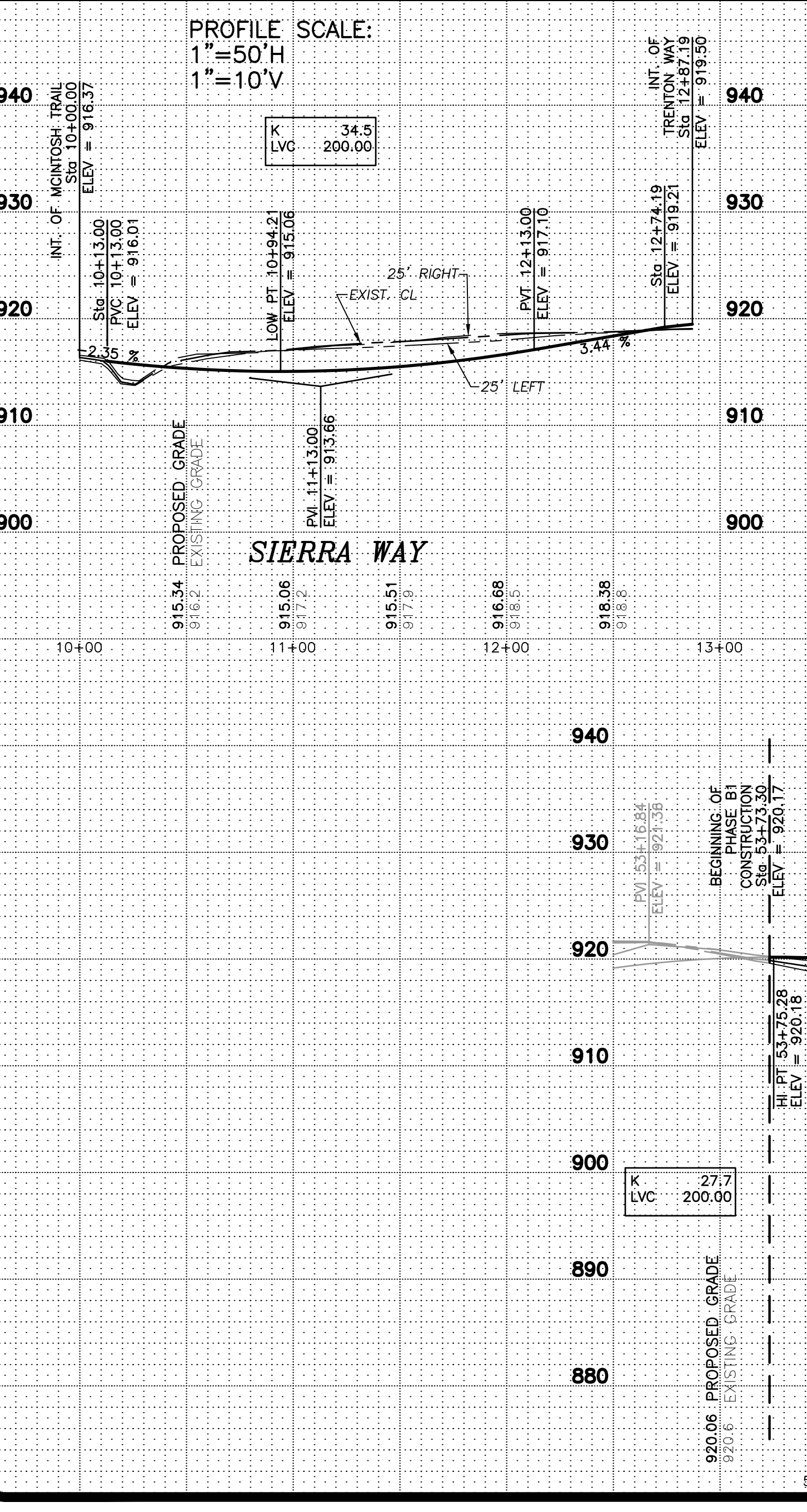
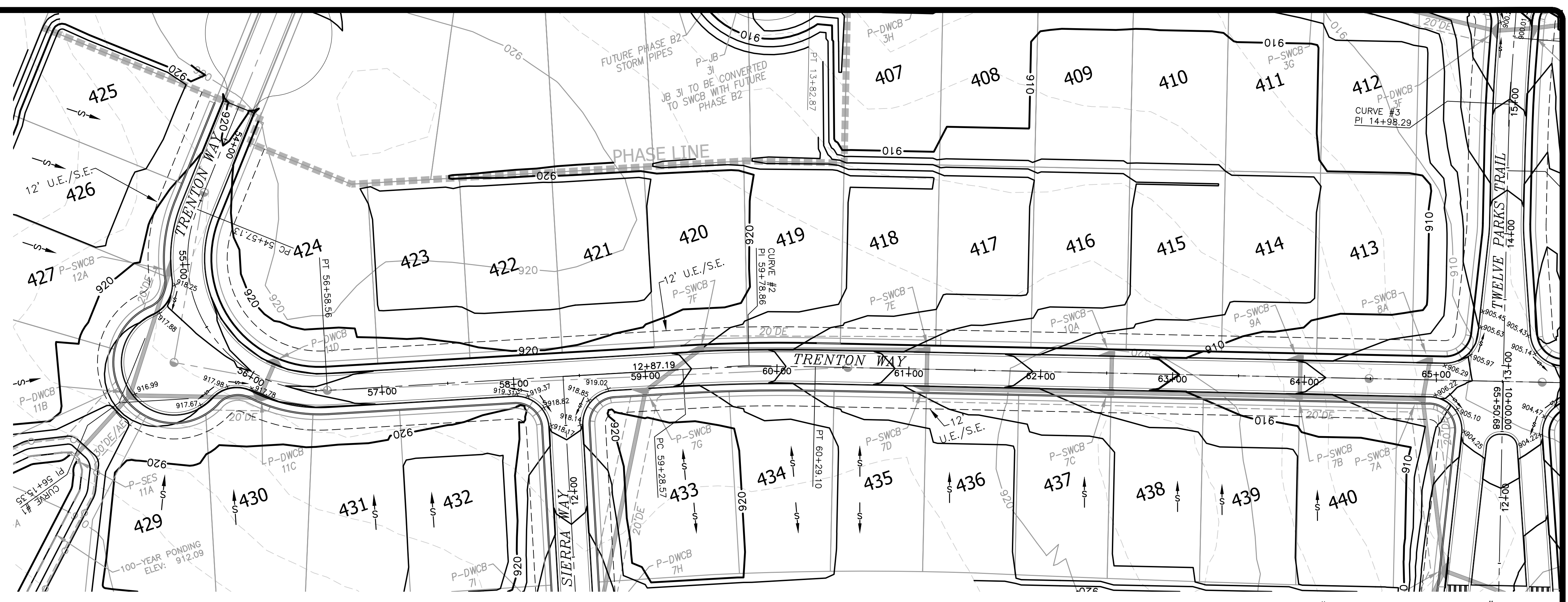
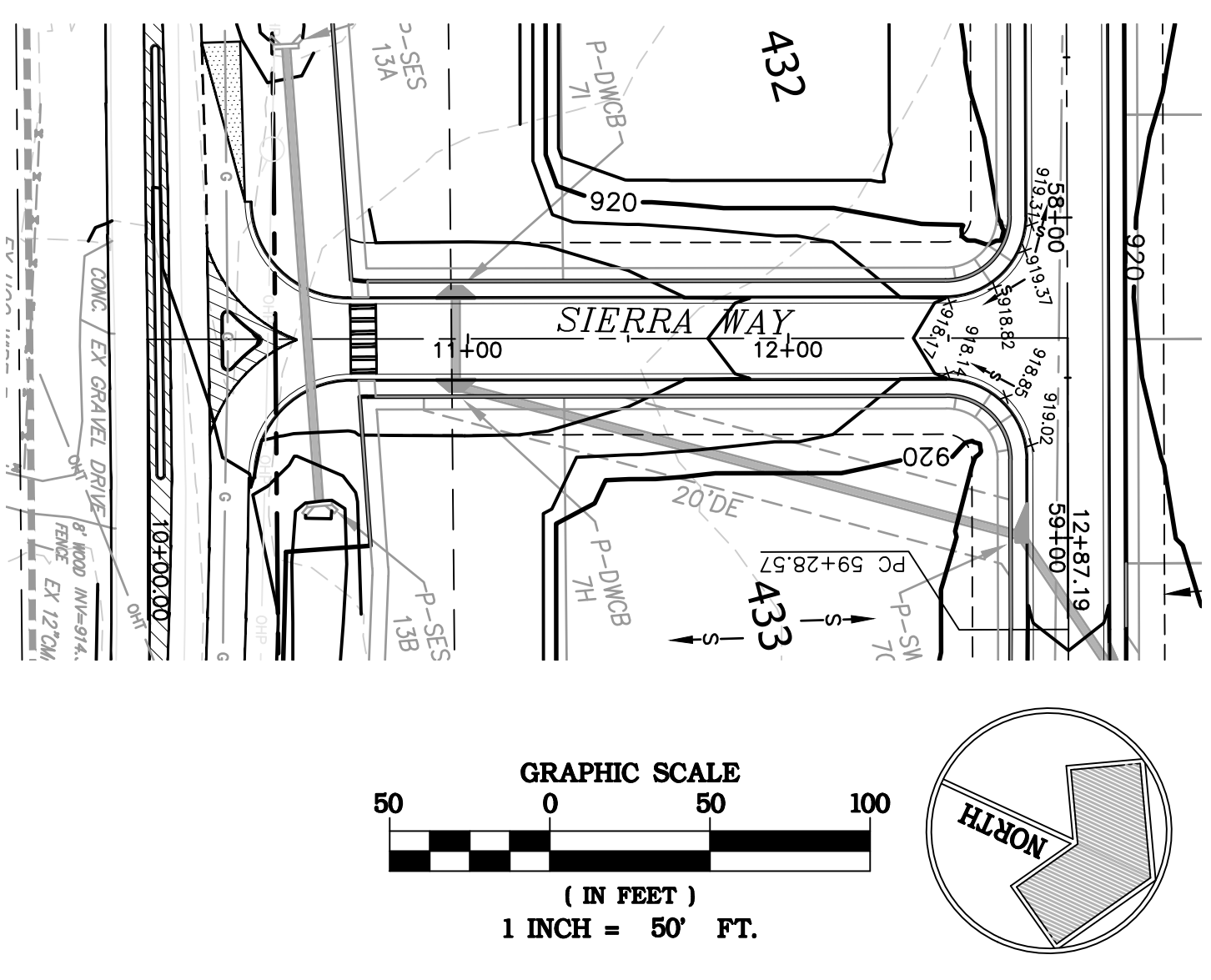
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EROSION CONTROL NOTES & DETAILS

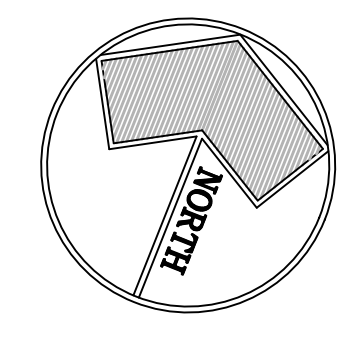
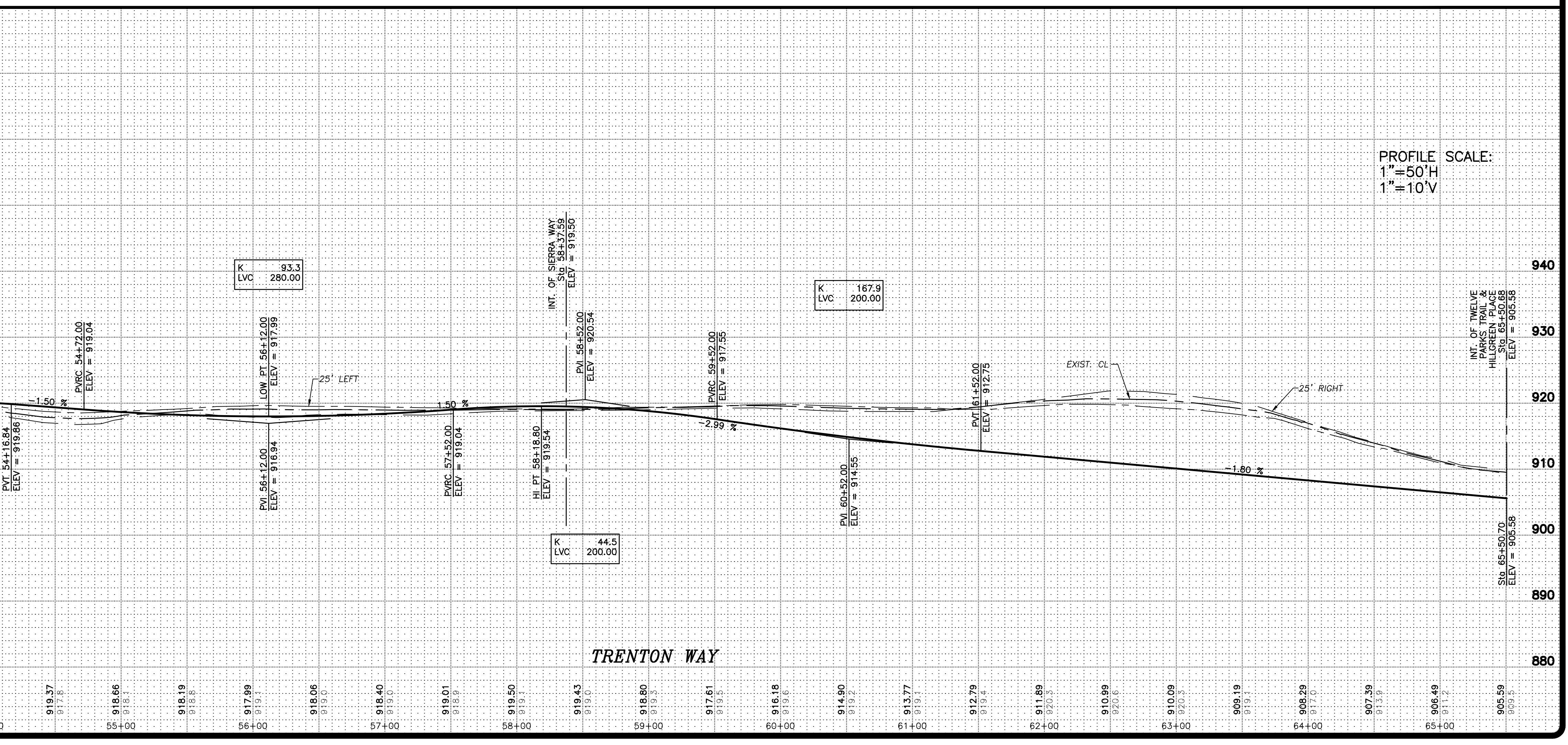
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
 LOCATED IN
 15T DISTRICT - LAND LOTS 151-152
 COWETA COUNTY, GEORGIA

NO.	DATE	REVISIONS	DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS	
5	11/22/23	REVISIONS PER COUNTY COMMENTS	
4	06/12/23	REVISIONS PER COUNTY COMMENTS	
3	05/08/23	REVISIONS PER KIMLEY HORN COMMENTS	
2	01/23/23	REVISIONS PER COUNTY COMMENTS	
1	07/07/22	INITIAL DATE OF PLANS	

NO.	DATE	REVISIONS	DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS	
5	11/22/23	REVISIONS PER COUNTY COMMENTS	
4	06/12/23	REVISIONS PER COUNTY COMMENTS	
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1	07/07/22	INITIAL DATE OF PLANS	



NOTE:
IN AREAS OF PROPOSED ROAD SLOPES LESS THAN 2%, THE PERMITTEE/CONTRACTOR WILL STAKE THE ROAD AT 25 FT. INTERVALS AND INCREASE THE CROSS SLOPE FROM NORMAL 2% SLOPE TO 2.5% SLOPE WITHIN THOSE STATIONS. AN AS-BUILT CENTERLINE ROAD PROFILE AND AS-BUILT CROSS-SECTIONS WILL BE REQUIRED GIVING ASSURANCE THAT THOSE AGREED TO MINIMUMS ARE PROVIDED PRIOR TO ROW ACCEPTANCE.



CURVE #1		CURVE #2	
PI	56+15.35	PI	59+78.86
North	1216701.062	North	1216903.782
East	2154229.681	East	2154663.138
Δ =	115°24'45"	Δ =	4°36'29"
CH =	169.06	CH =	100.50
ARC =	201.43	ARC =	100.53
R =	100.00	R =	1250.00
T =	158.22	T =	50.29



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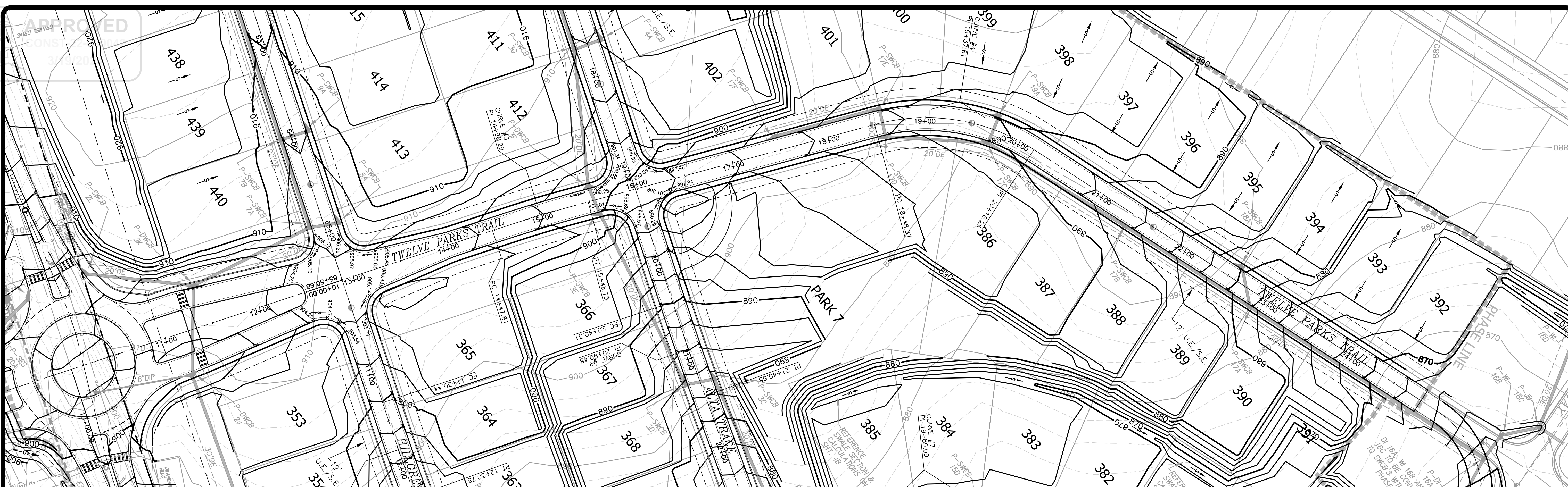
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ROADWAY PLAN AND PROFILES
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COMETA COUNTY, GEORGIA

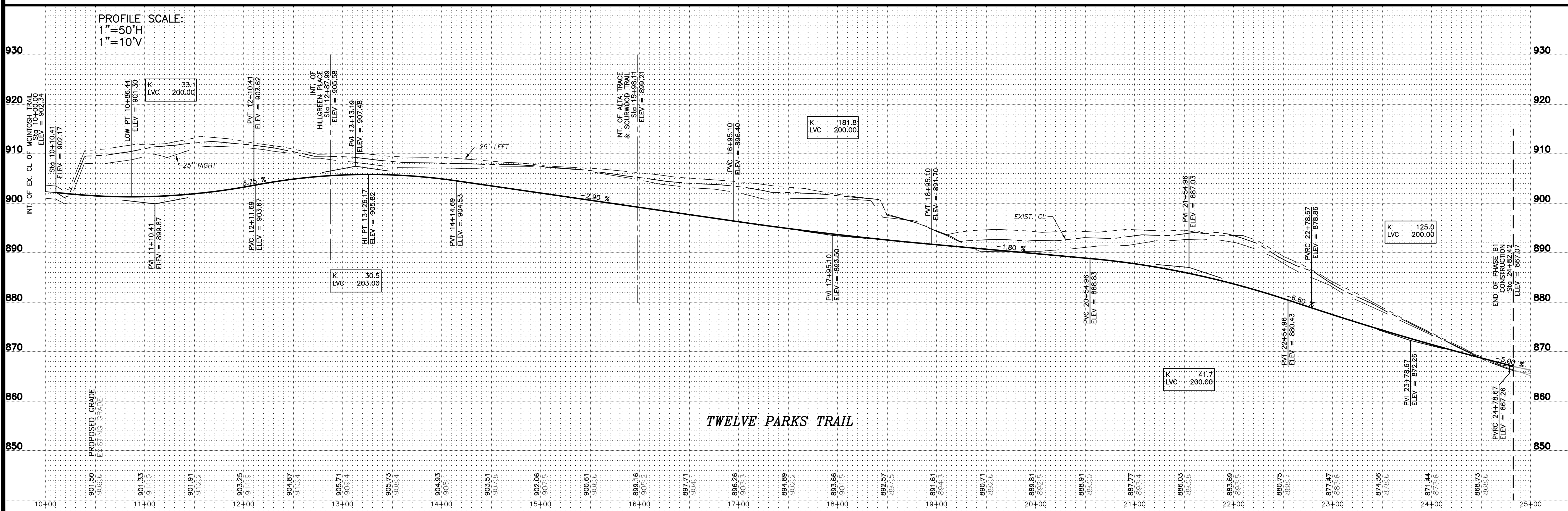
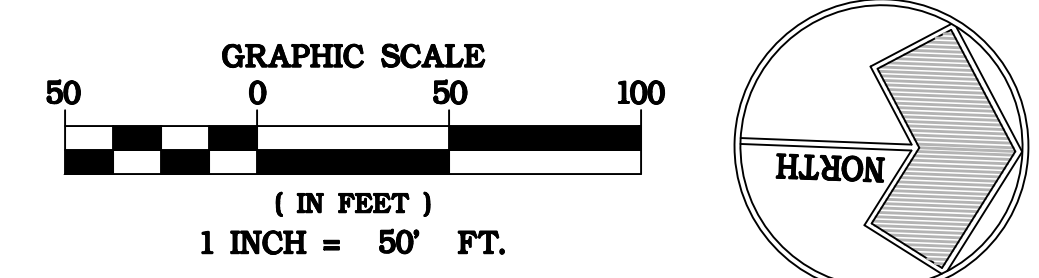
NO.	DATE	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS
5	11/22/23	CONSTRUCTION COMMENTS AND REVISIONS PER COUNTY COMMENTS
4	06/12/23	REVISIONS PER COUNTY COMMENTS
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS



SEE SHEET 5C FOR DETAILED GRADING PLAN WITH SPOT ELEVATIONS FOR PROPOSED GRADING AT ROUNDABOUT.

NOTE:
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CURVE #3		CURVE #4	
PI	14+98.29	PI	19+37.61
North	1217300.692	North	1217720.130
East	2155125.451	East	2154994.702
Δ	3'08'35"	Δ	48'05'41"
CH=	100.92	CH=	163.00
ARC=	100.94	ARC=	167.88
R=	1840.00	R=	200.00
T=	50.48	T=	89.24



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ROADWAY PLAN AND PROFILES
 FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOCATED IN
 1ST DISTRICT - LAND LOTS 151-152
 COMETA COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS
5	11/22/23	COMMENTS PER COUNTY COMMENTS AND RIMLEY HORN COMMENTS
4	06/12/23	REVISIONS PER COUNTY COMMENTS
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET OF
10B 25



CURVE #5

PI	11+80.61
North	1217166.777
East	2155368.174
Δ	1°42'58"
CH=	100.33
ARC=	100.34
R=	3350.00
T=	50.17

CURVE #6

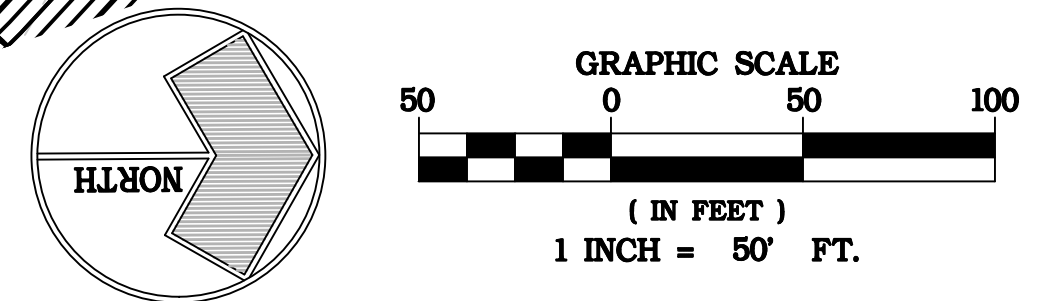
PI	16+16.94
North	1217331.448
East	2155772.239
Δ	115°35'02"
CH=	253.84
ARC=	302.60
R=	150.00
T=	238.12

CURVE #7

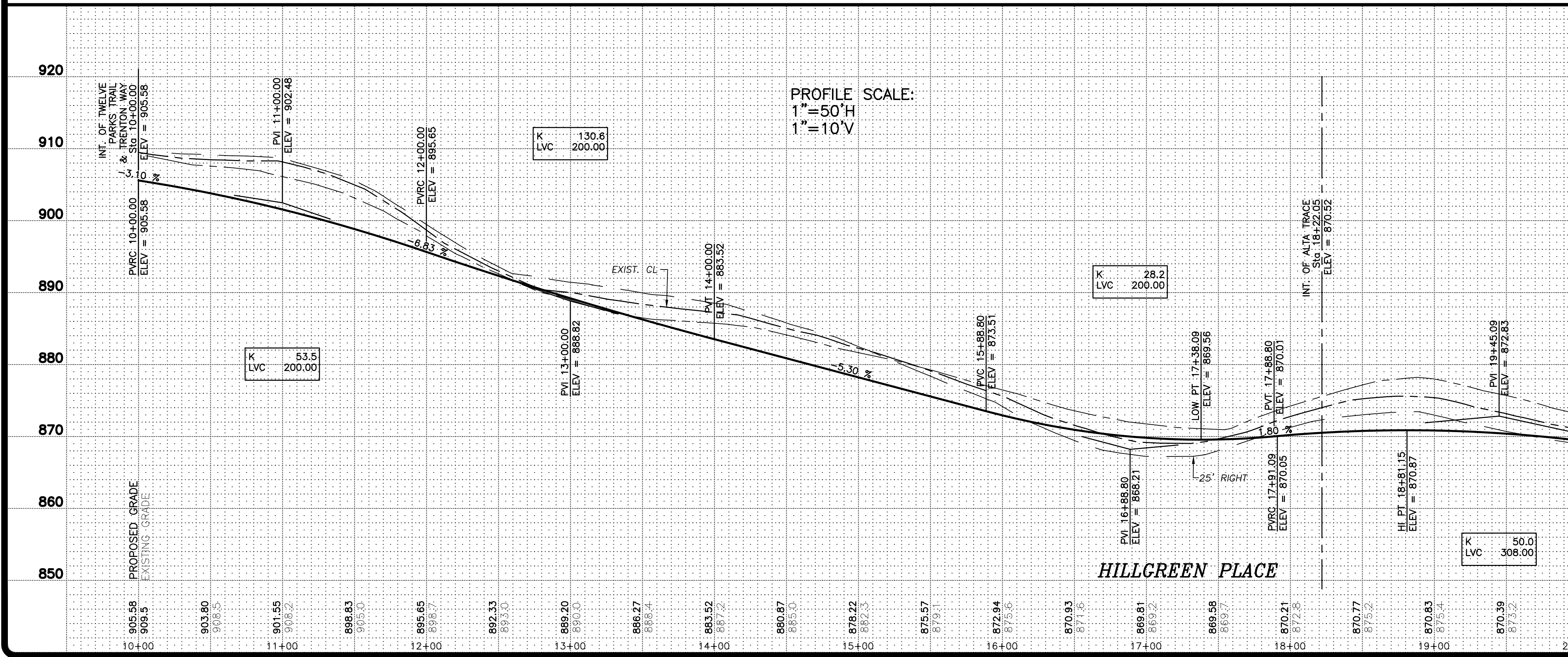
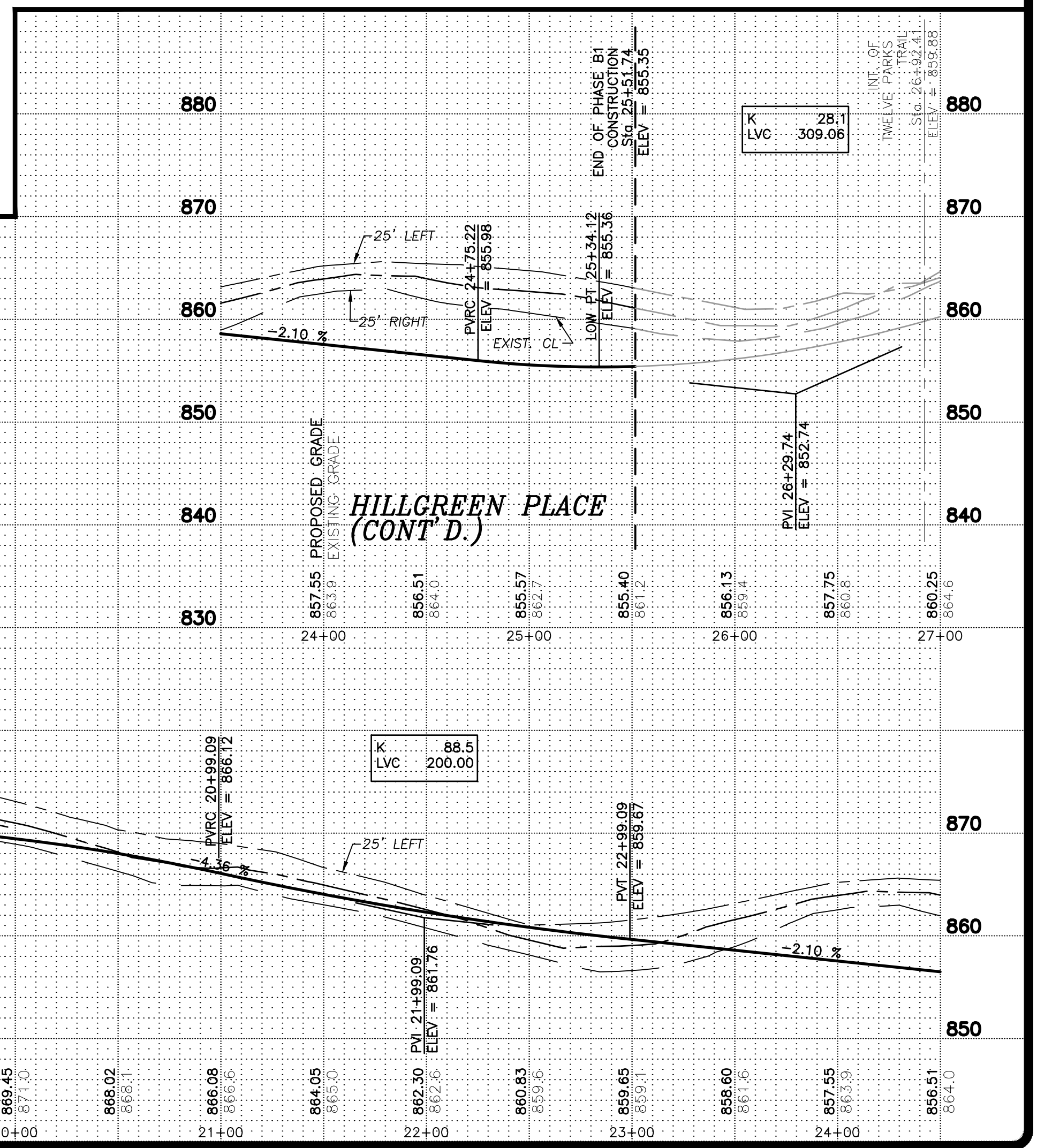
PI	19+89.09
North	1217698.382
East	2155368.185
Δ	78°32'15"
CH=	253.18
ARC=	274.15
R=	200.00
T=	163.52

CURVE #8

PI	23+99.07
North	1218096.034
East	2155605.055
Δ	80°11'50"
CH=	193.23
ARC=	209.96
R=	150.00
T=	126.31



NOTE:
 IN AREAS OF PROPOSED ROAD SLOPES LESS THAN 2%, THE PERMITTEE/CONTRACTOR WILL STAKE THE ROAD AT 25 FT. INTERVALS AND INCREASE THE CROSS SLOPE FROM NORMAL 2% SLOPE TO 2.5% SLOPE WITHIN THOSE STATIONS. AN AS-BUILT CENTERLINE ROAD PROFILE AND AS-BUILT CROSS-SECTIONS WILL BE REQUIRED GIVING ASSURANCE THAT THOSE AGREED TO MINIMUMS ARE PROVIDED PRIOR TO ROW ACCEPTANCE.



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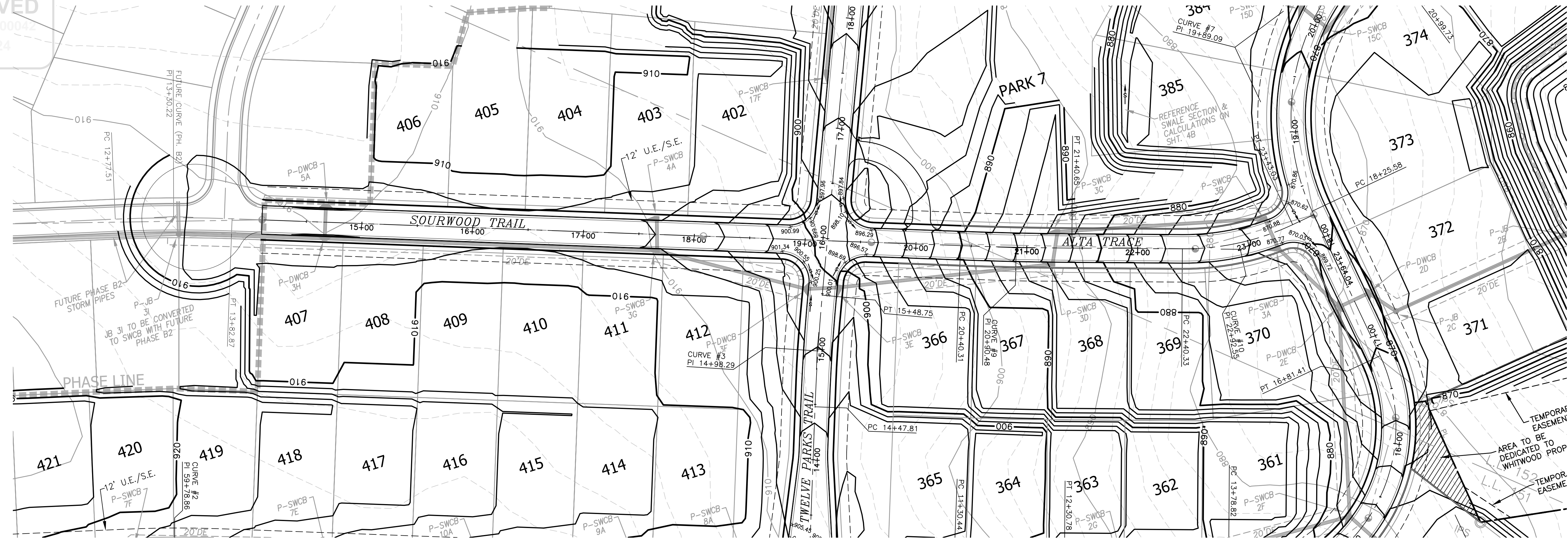
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ROADWAY PLAN AND PROFILES FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT

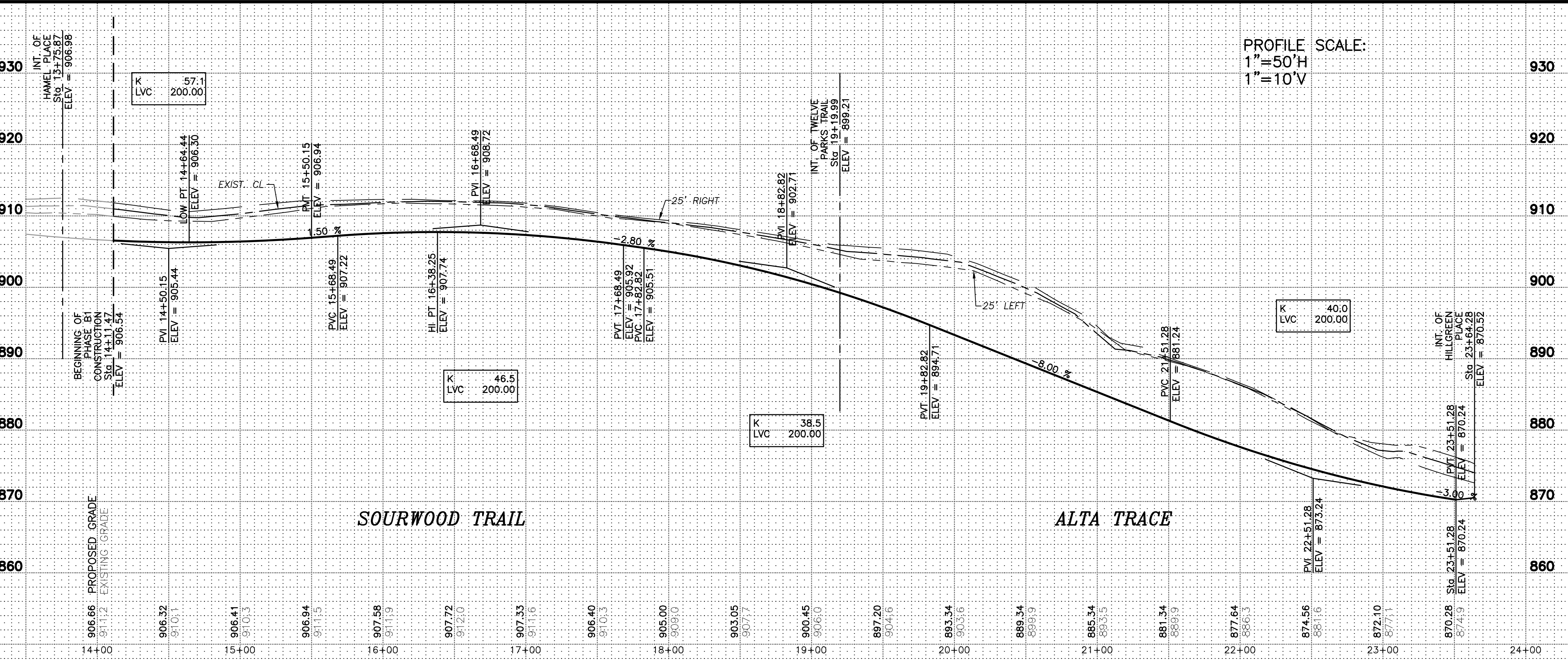
LOCATED IN
 1ST DISTRICT - LAND LOTS 151-152
 COMETA COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS
5	11/22/23	COMMENTS PER COUNTY COMMENTS AND RIMLEY HORN COMMENTS
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DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110



NOTE:
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PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN LAND LOTS 151-152
1ST DISTRICT - CONETA COUNTY, GEORGIA

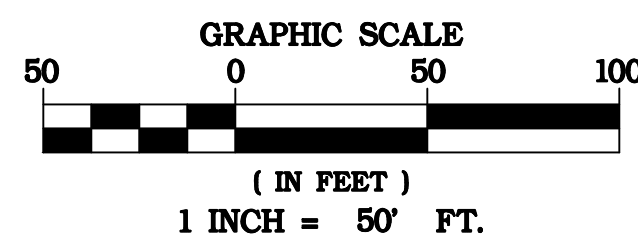
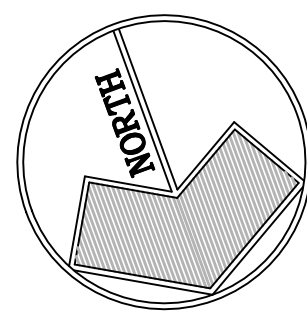
NO.	DATE	REVISIONS DESCRIPTION
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4	06/12/23	REVISIONS PER COUNTY COMMENTS
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2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

APPROVED

CONSTRUCTION

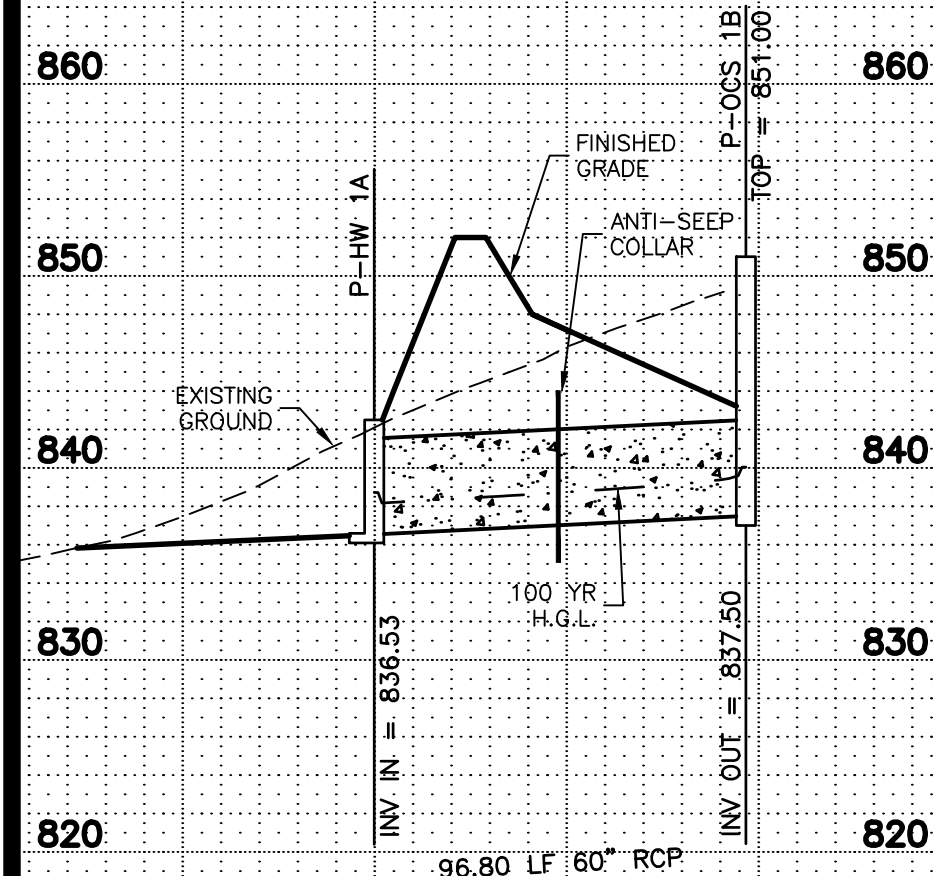
7/19/2024



COWETA COUNTY ORDINANCE - PIPE SPECIFICATION NOTE:
LONGITUDINAL AND CONVEYANCE SYSTEMS: AN APPROPRIATE CLASS OF BITUMINOUS COATED GALVANIZED CORRUGATED METAL PIPE, ALUMINIZED STEEL, TYPE 2 CORRUGATED PIPE CONFORMING TO AASHTO M 274, POLYMER COATED STEEL CORRUGATED PIPE CONFORMING TO AASHTO M 246, OR REINFORCED CONCRETE PIPE CONFORMING TO AASHTO M 170 WILL BE USED ON STORM DRAIN SYSTEMS WHICH RUN LONGITUDINAL TO THE ROADWAY OR CONVEY STORMWATER TO OR FROM A ROADWAY CROSSING. MINIMUM CLASS OR THICKNESS OF PIPE SHALL BE IN ACCORDANCE WITH GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD 1030 D BASED UPON THE PROPOSED COVER AND HEIGHT OF FILL.

STORM LINE "1"

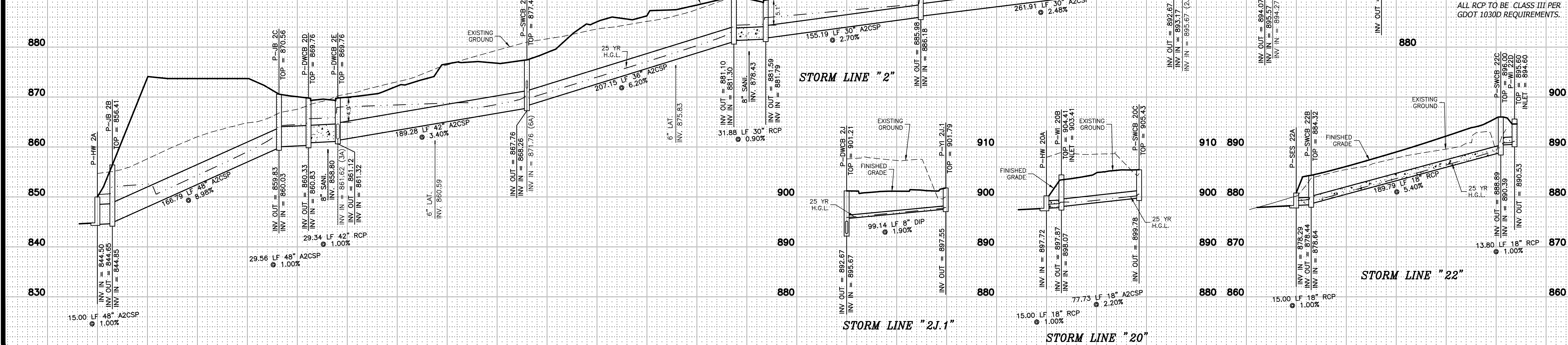
ALL RCP TO BE CLASS III PER GDOT 1030D REQUIREMENTS.



STORM LINE "1"

PROFILE SCALE:
1"=50'H
1"=10'V

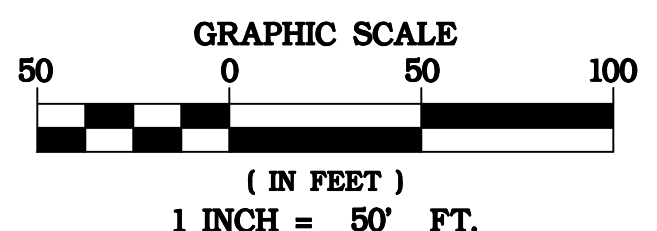
NOTE: FLARED END SECTIONS (FES) AND SAFETY END SECTIONS (SES) TO BE FULLY BITUMINOUS COATED WHERE STORM PIPE IS A2CSP OR RCP CLASS III WHERE STORM PIPE IS RCP.



Twelve Parks, Phase B1
PIPE CHART

Location	Inlet Type	Area (Acres)	C	Tc (Min)	I25 (In/Hr)	Q25 (cfs)	Q (Sum) (cfs)	Slope (%)	Lgth (ft)	Size (in)	Vel. (fps)	I10 (In/Hr)	Q10 (cfs)	Gutter Slope	Gutter Spread
1B-1A	OCS	SEE HYDRO-POND B1				260.46	260.46	1.0	97	60	9.4				
2K-2J	DWCB	0.52	0.60	5	8.45	2.43	2.43	3.6	109	18	4.5	7.30	2.10	5.7	5.2
2J-2I	DWCB	0.30	0.58	5	8.45	1.48	34.16	2.5	262	30	6.8	7.30	1.28	1.5	5.2
2I-2H	JB					8.45	0.00	34.16	2.7	155	30	6.9			
2H-2G	SWCB	0.85	0.67	5	8.45	4.83	38.99	0.9	32	30	7.9	7.30	4.17	6.1	7.0
2G-2F	SWCB	0.83	0.69	5	8.45	4.84	43.83	0.2	207	36	13.3	7.30	4.18	6.1	7.0
2F-2E	SWCB	0.57	0.69	5	8.45	3.28	53.16	3.4	189	42	5.9	7.30	2.83	5.3	5.8
2E-2D	DWCB	0.50	0.55	5	8.45	2.31	97.28	1.0	29	42	10.1	7.30	1.99	1.8	4.5
2D-2C	DWCB	1.15	0.65	5	8.45	6.27	103.55	1.0	30	48	8.2	7.30	5.41	1.8	7.7
2C-2B	JB					8.45	0.00	103.55	9.0	167	48	14.7			
2B-2A	HW					8.45	0.00	103.55	1.0	15	48	8.2			
2A	HW														
6A-2F	SWCB	1.11	0.64	5	8.45	6.05	6.05	1.0	29	18	6.0	7.30	5.23	5.3	8.0
2J1-2J2	WI	0.07	0.35	5	8.45	0.22	0.22	1.9	99	8	2.2	7.30	0.19	1.5	3.9
20C-20B	SWCB	0.43	0.53	5	8.45	1.94	1.94	2.2	78	18	3.6	7.30	1.68	1.5	6.5
20B-20A	WI	0.36	0.51	5	8.45	1.56	3.50	1.0	15	18	3.7	7.30	1.34	1.5	3.9
20A	SES														
22D-22C	WI	0.49	0.36	5	8.45	1.48	4.79	1.0	14	18	3.9				
22C-22B	SWCB	0.56	0.70	5	8.45	3.31	3.31	5.4	190	18	10.4	7.30	2.86	7.0	5.8
22B-22A	SWCB	0.88	0.40	5	8.45	3.00	7.79	1.0	15	18	6.2	7.30	2.59	5.1	5.9
22A	SES														
FLUME 1			0.64	0.56	5	8.45	3.06	3.06			3.7				

STORM LINES "2", "2J.1", "6" & "20"



NOTE: ALL CROSS DRAIN STORM PIPES ARE OF ADEQUATE LENGTH SO THAT STRUCTURES DO NOT HAVE TO BE PLATTED. ALL STORM PIPES ARE MEASURED TO THE CENTER OF THE BOXES.

GADOT STANDARD NUMBERS FOR STORM STRUCTURES:

STRUCTURE	GADOT #
SWCB	1033D
DWCB	1034D
WI	9031S
JB	1011A
HW	1025
SES	1122

*NOTE - ALL JUNCTION BOXES (JB) TO HAVE ACCESS LIDS AND SHALL NOT BE BURIED.



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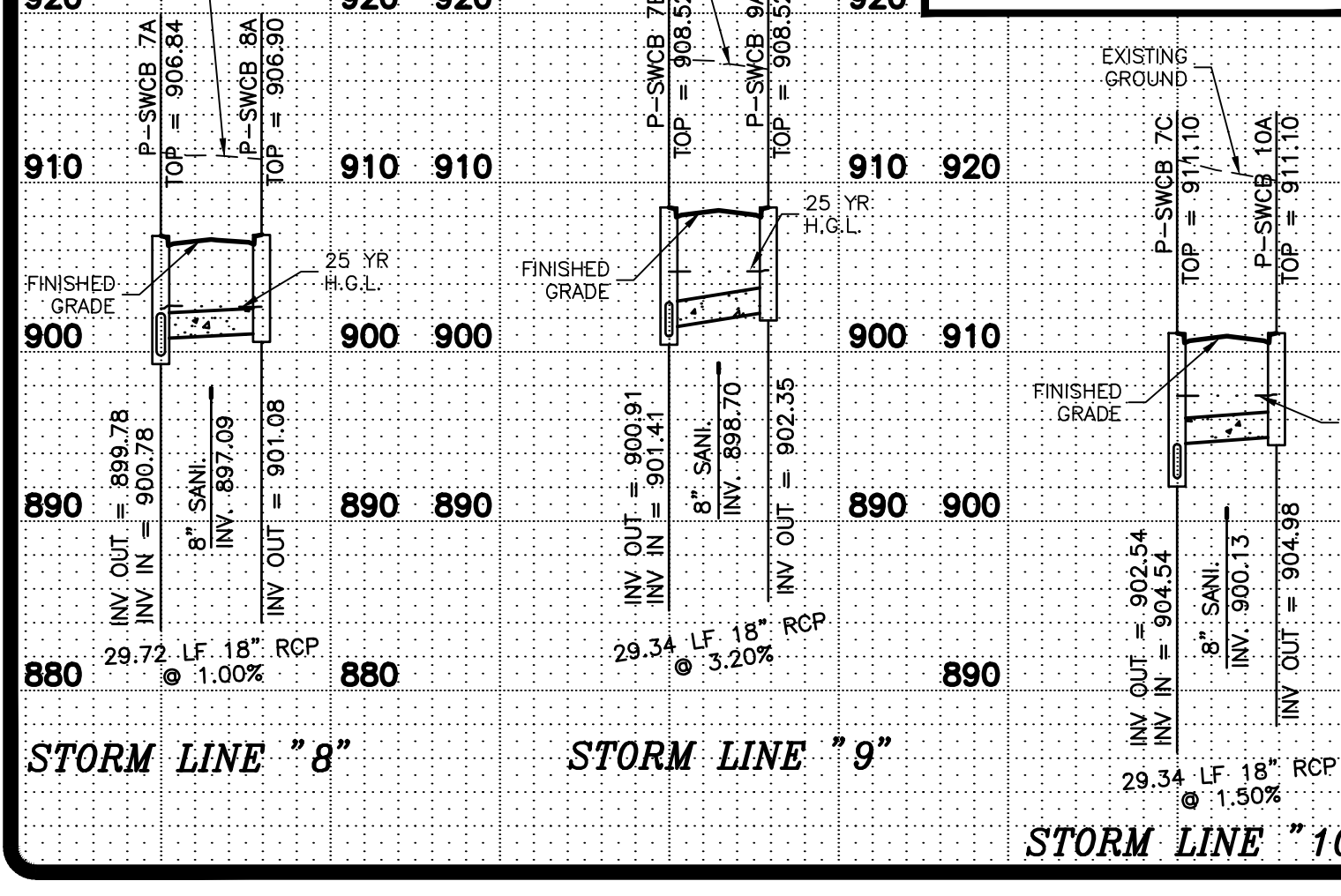
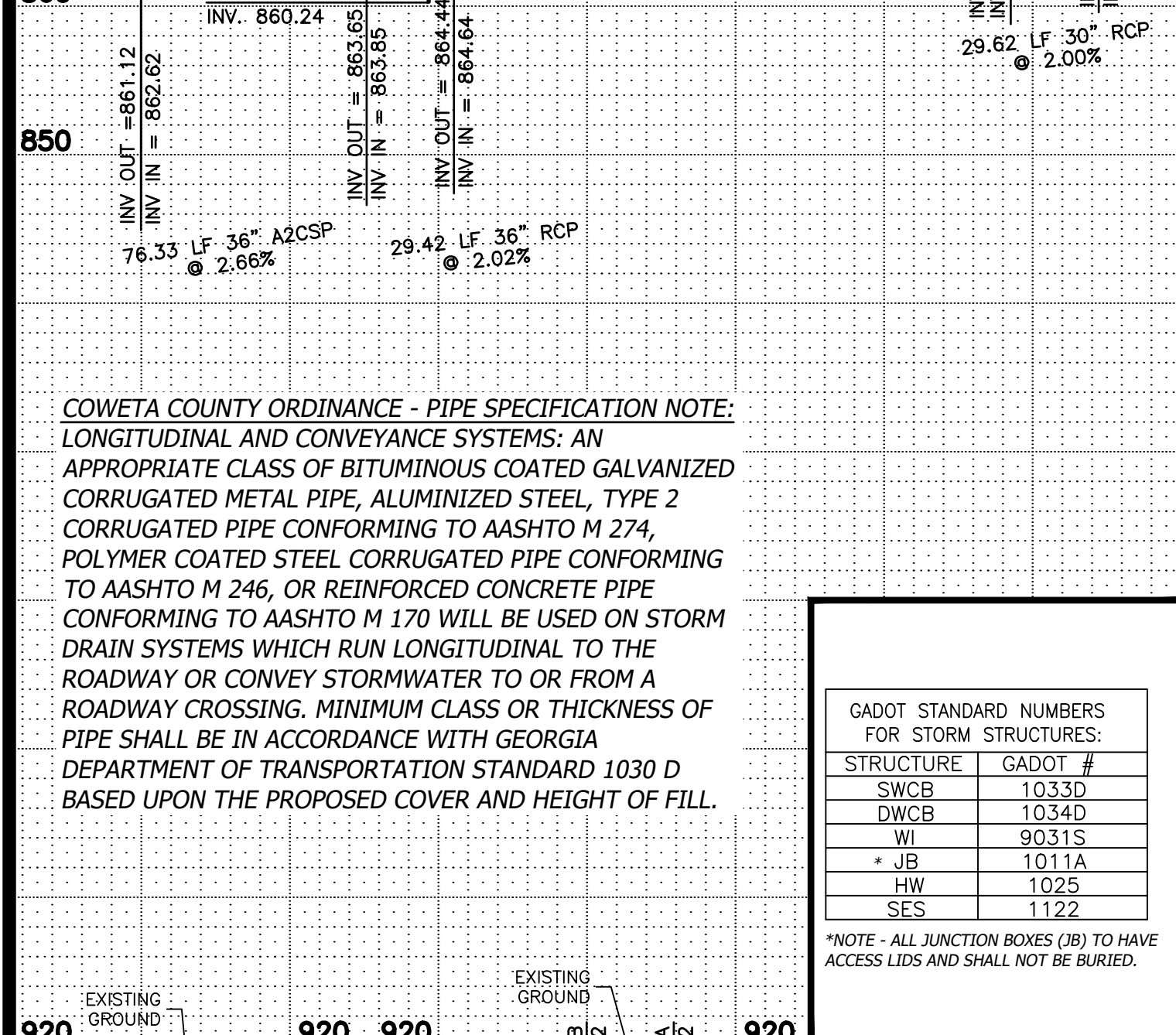
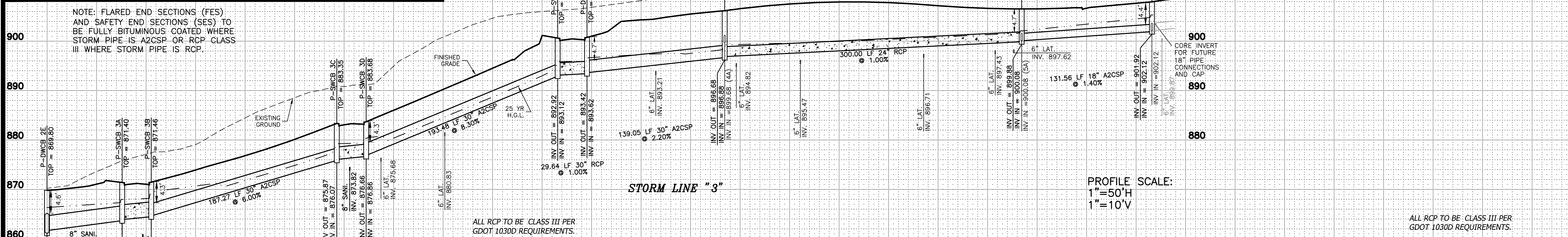
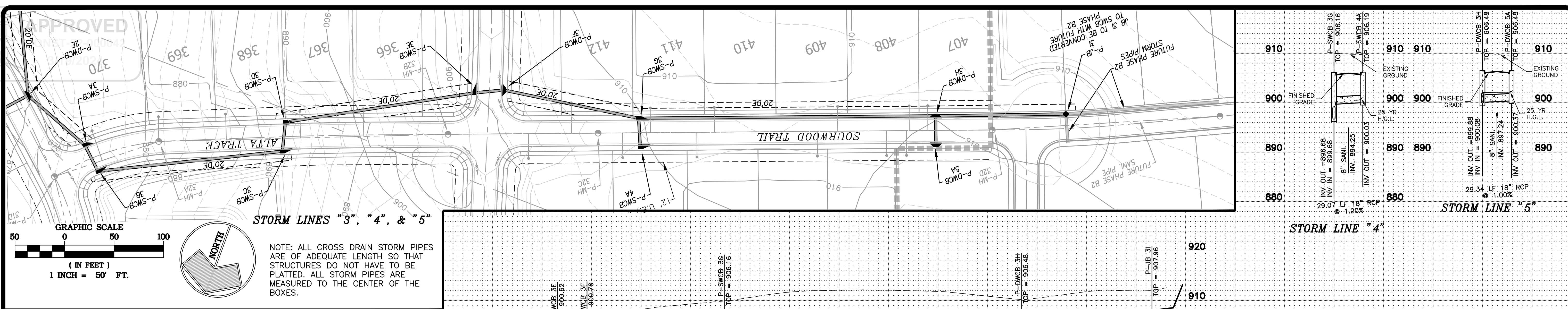
STORM SEWER PLAN AND PROFILES FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT

1ST DISTRICT - LAND LOTS 151-152
COWETA COUNTY, GEORGIA

REVISIONS PER COUNTY COMMENTS

NO.	DATE	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS AND RIMLEY HORN COMMENTS
5	11/22/23	REVISIONS PER COUNTY COMMENTS
4	06/12/23	REVISIONS PER RIMLEY HORN COMMENTS
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

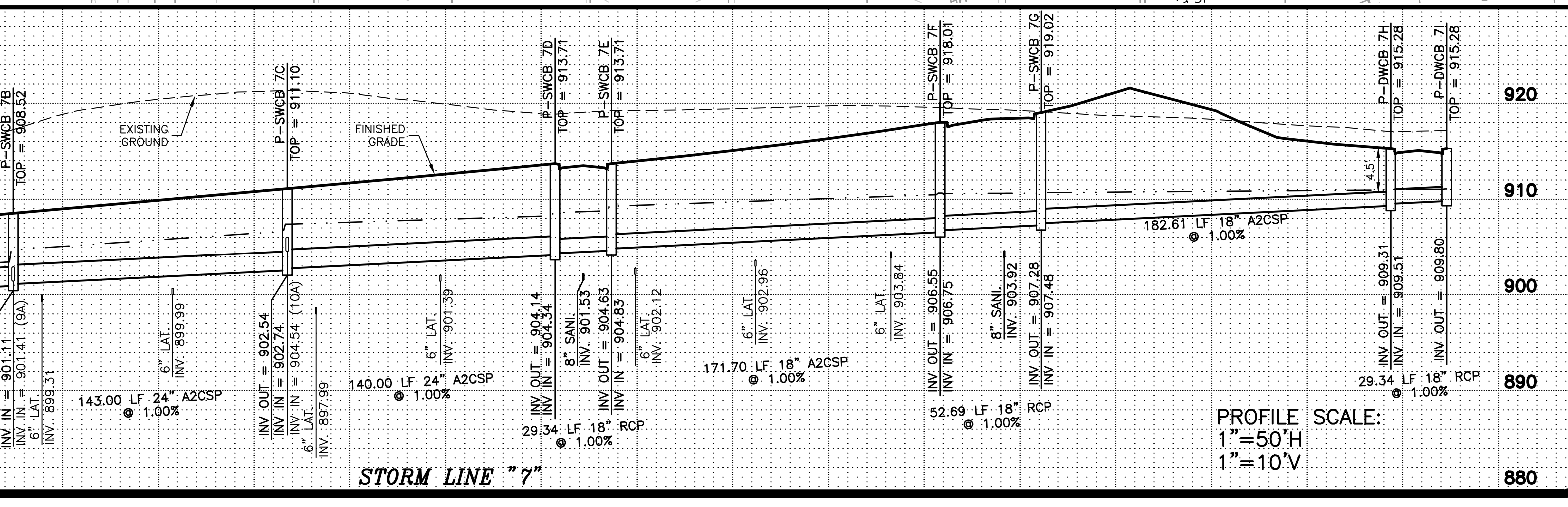
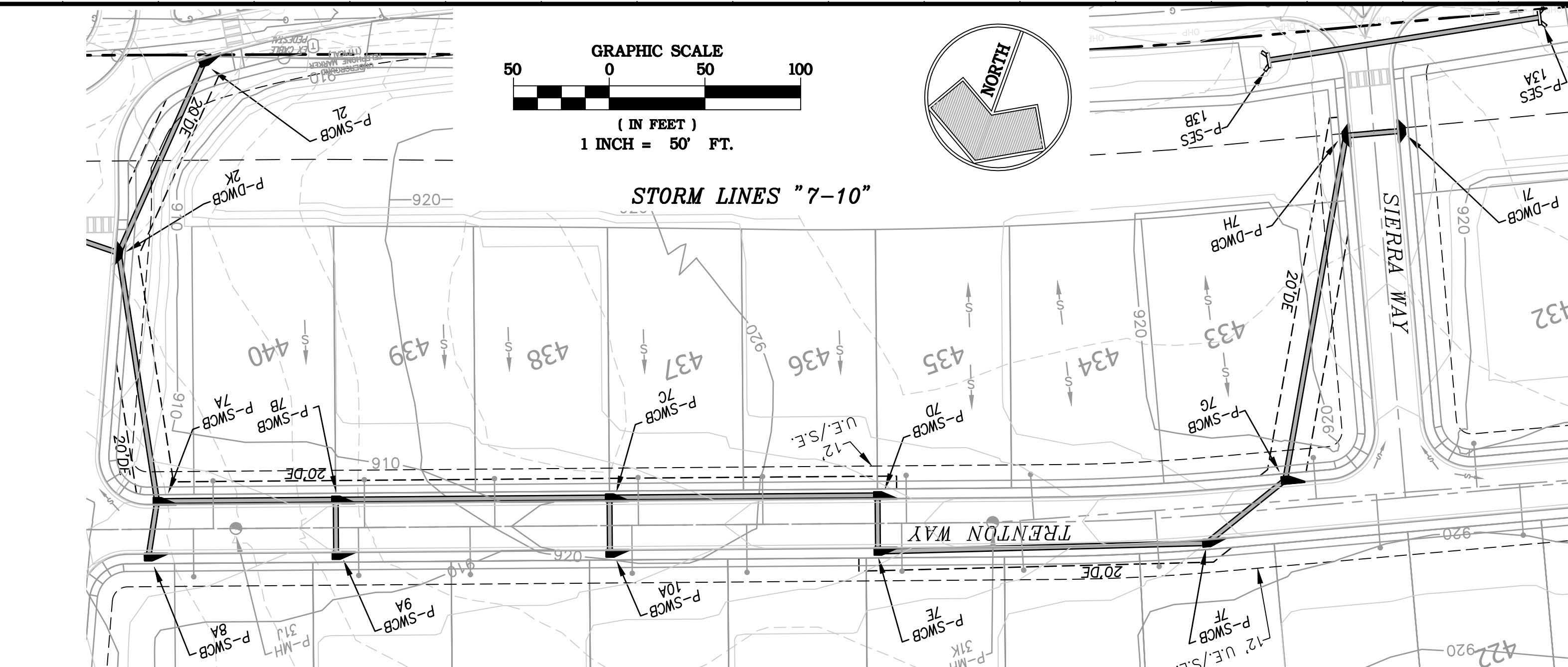
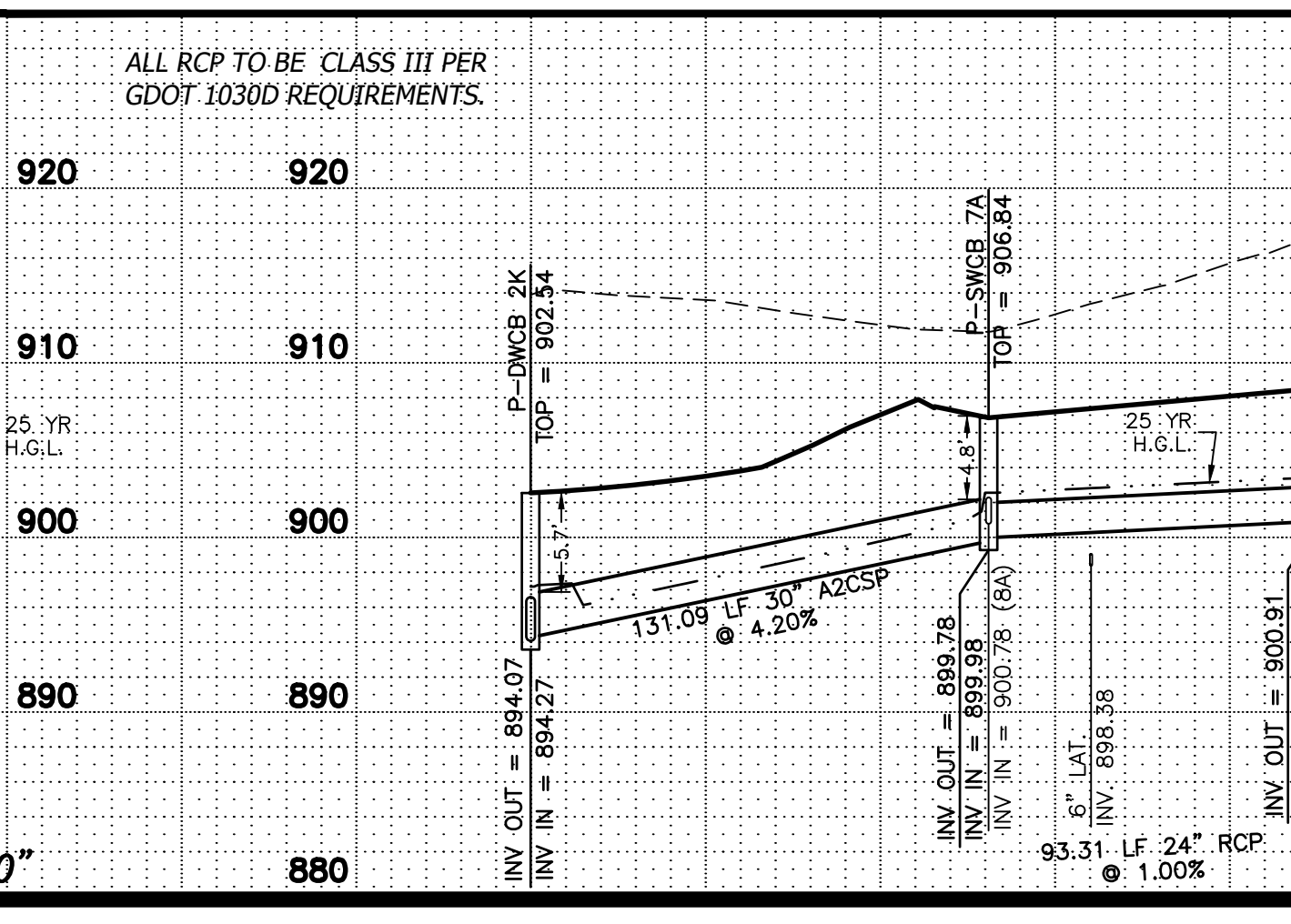


Twelve Parks, Phase B1

Location	Inlet Type	Acres	C	Tc	Q25	Q (Sum)	Slope	Lgth.	Size	Vel.	I 10	Q 10	Gutter	Gutter Spread
				(Min)	(In/Hr)	(cfs)	(cfs)	(ft.)	(In)	(ft/s)	(In/Hr)	(cfs)		
FUTURE PIPE		0.27	0.62	5	8.45	1.43	1.0	29	18	2.0	7.30	1.24	2.0	4.6
FUTURE PIPE		0.72	0.67	5	8.45	3.71	5.14	2.0	155	18	3.1	7.30	3.20	8.0
3A-3H	JB	0.57	0.66	5	8.45	3.14	8.28	1.4	132	18	4.7	7.30	2.71	2.0
3H-3G	DWCB	1.12	0.66	5	8.45	6.22	18.91	1.0	300	24	7.1	7.30	5.37	1.5
3G-3F	SWCB	0.49	0.69	5	8.45	2.87	24.61	2.2	139	30	6.8	7.30	2.48	2.8
3F-3E	DWCB	0.76	0.69	5	8.45	3.85	28.45	1.0	30	30	5.8	7.30	3.32	2.9
3E-3D	SWCB	0.19	0.67	5	8.45	1.01	29.46	8.3	193	30	13.1	7.30	0.87	2.8
3D-3C	SWCB	0.74	0.67	5	8.45	3.82	33.28	2.0	30	30	6.8	7.30	3.30	8.0
3C-3B	SWCB	0.67	0.50	5	8.45	2.80	36.09	6.0	187	30	9.7	7.30	2.42	8.0
3B-3A	SWCB	0.27	0.52	5	8.45	1.20	37.29	2.0	29	36	5.3	7.30	1.04	3.6
3A-2E	SWCB	0.81	0.66	5	8.45	4.52	41.81	2.7	76	36	5.9	7.30	3.91	3.6
4A-3G	SWCB	0.48	0.70	5	8.45	2.83	2.83	1.2	29	18	5.1	7.30	2.45	2.8
5A-3H	DWCB	0.73	0.72	5	8.45	4.41	4.41	1.0	29	18	2.5	7.30	3.81	1.5
7I-7H	DWCB	0.23	0.63	5	8.45	1.21	1.21	1.0	29	18	2.0	7.30	1.04	2.0
7H-7G	DWCB	0.30	0.63	5	8.45	1.61	2.82	1.0	183	18	2.0	7.30	1.39	2.0
7G-7F	SWCB	0.36	0.66	5	8.45	0.45	3.26	1.0	53	18	2.0	7.30	0.39	1.8
7F-7E	SWCB	0.46	0.71	5	8.45	2.77	6.03	1.0	172	18	3.4	7.30	2.39	2.8
7E-7D	SWCB	0.58	0.71	5	8.45	3.50	9.53	1.0	29	18	5.4	7.30	3.03	2.0
7D-7C	SWCB	0.44	0.74	5	8.45	2.77	12.30	1.0	140	24	3.9	7.30	2.39	2.0
7C-7B	SWCB	0.53	0.67	5	8.45	2.99	18.13	1.0	143	24	5.8	7.30	2.59	1.8
7B-7A	SWCB	0.56	0.65	5	8.45	3.10	24.12	1.0	93	24	7.7	7.30	2.68	1.8
7A-2K	SWCB	0.30	0.66	5	8.45	1.64	27.42	4.2	131	30	10.2	7.30	1.42	1.8
8A-7A	SWCB	0.30	0.65	5	8.45	1.65	1.65	1.0	30	18	2.0	7.30	1.43	1.8
9A-7B	SWCB	0.49	0.70	5	8.45	2.89	2.89	3.2	29	18	2.0	7.30	2.50	1.8
10A-7C	SWCB	0.47	0.71	5	8.45	2.83	2.83	1.5	29	18	2.0	7.30	2.44	1.8

* INDICATES CALCULATED FOR 100 YEAR STORM
 DWCB = DOUBLE WING CATCH BASIN
 SWCB = SINGLE WING CATCH BASIN
 JB = JUNCTION BOX
 WI = WEIR INLET
 HW = HEADWALL
 CCS = GUTTER CONTROL STRUCTURE

NO MORE THAN 1.5 ACRES OF DRAINAGE PER SINGLE WING CATCH BASIN AND 3 ACRES OF DRAINAGE PER DOUBLE WING IS ALLOWED. ALL DRAINAGE AREAS TO CATCH BASINS ARE WITHIN THOSE LIMITS.



COWETA COUNTY ORDINANCE - PIPE SPECIFICATION NOTE:
 LONGITUDINAL AND CONVEYANCE SYSTEMS: AN APPROPRIATE CLASS OF BITUMINOUS COATED GALVANIZED CORRUGATED METAL PIPE, ALUMINIZED STEEL, TYPE 2 CORRUGATED PIPE CONFORMING TO AASHTO M 274, POLYMER COATED STEEL CORRUGATED PIPE CONFORMING TO AASHTO M 246, OR REINFORCED CONCRETE PIPE CONFORMING TO AASHTO M 170 WILL BE USED ON STORM DRAIN SYSTEMS WHICH RUN LONGITUDINAL TO THE ROADWAY OR CONVEY STORMWATER TO OR FROM A ROADWAY CROSSING. MINIMUM CLASS OR THICKNESS OF PIPE SHALL BE IN ACCORDANCE WITH GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD 1030 D BASED UPON THE PROPOSED COVER AND HEIGHT OF FILL.

GADOT STANDARD NUMBERS FOR STORM STRUCTURES:

STRUCTURE	GADOT #
SWCB	1033D
DWCB	1034D
WI	9031S
JB	1011A
HW	1025
SES	1122

*NOTE - ALL JUNCTION BOXES (JB) TO HAVE ACCESS LIDS AND SHALL NOT BE BURIED.



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TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT

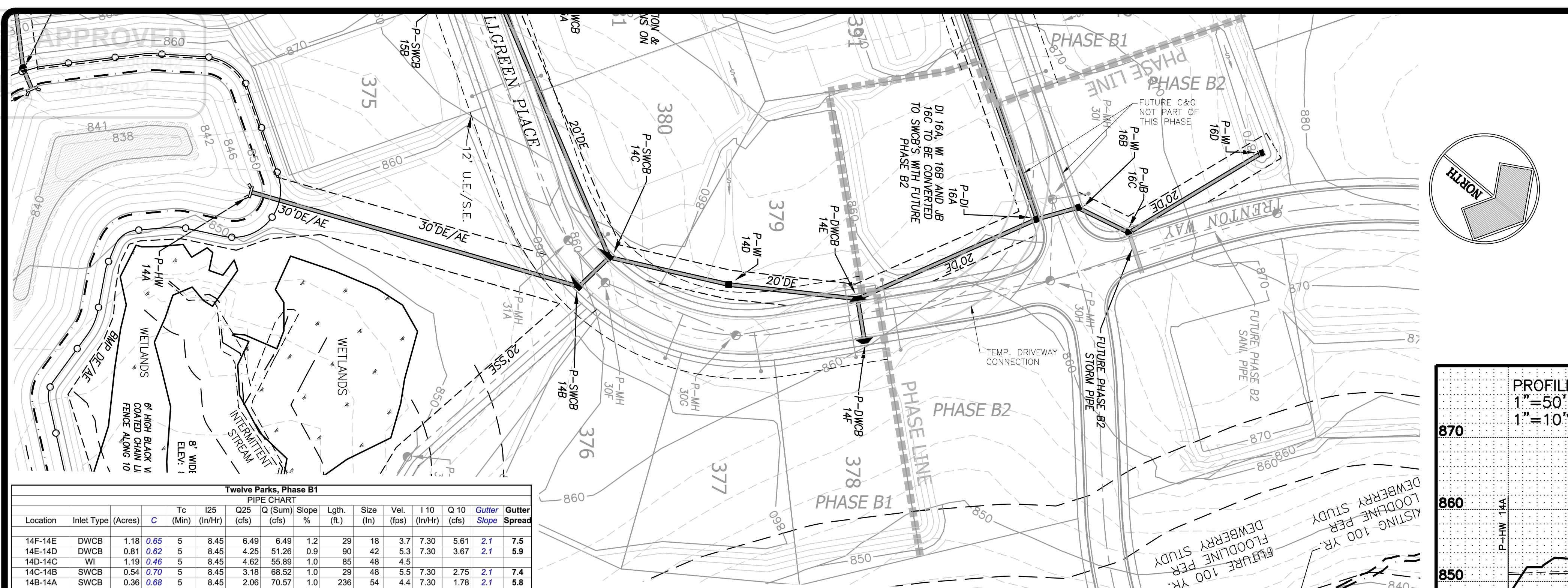
FOR
 STORM SEWER PLAN AND PROFILES

1ST DISTRICT - LAND LOTS 151-152
 COMETA COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS
5	11/22/23	CONTRACT COMMENTS AND REVISIONS PER COUNTY COMMENTS
4	06/12/23	REVISIONS PER COUNTY COMMENTS
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET **11B** OF **25**



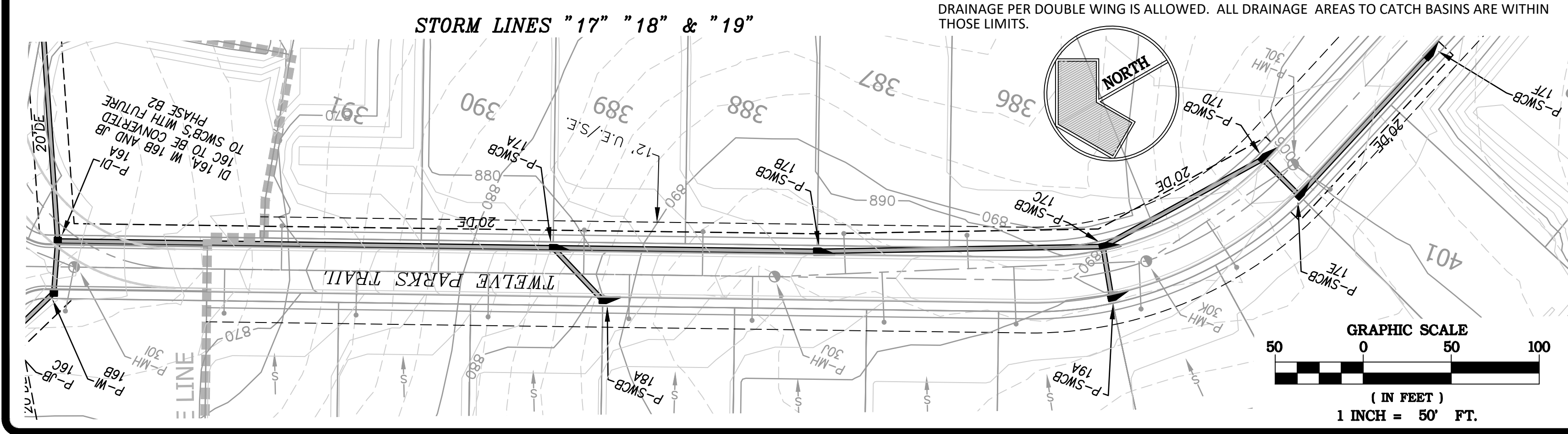
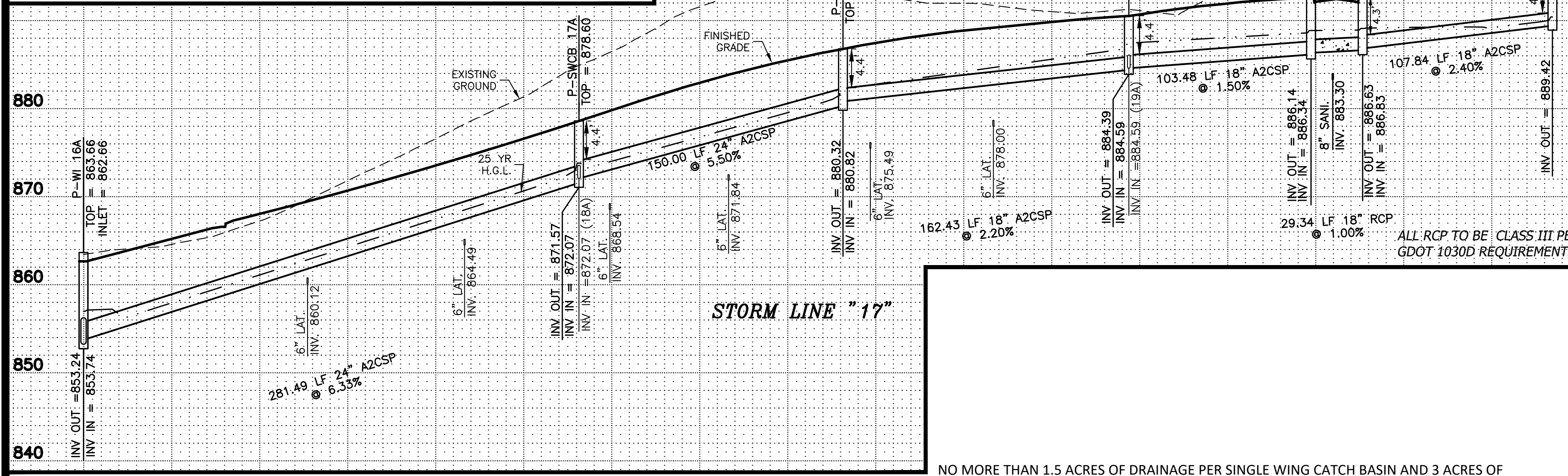
Twelve Parks, Phase B1

PIPE CHART

Location	Inlet Type	Acres	C	Tc (Min)	I25 (In/Hr)	Q25 (cfs)	Q (Sum) (cfs)	Slope %	Lgth. (ft.)	Size (In)	Vel. (fps)	I10 (In/Hr)	Q10 (cfs)	Gutter Slope	Gutter Spread
14F-14E	DWCB	1.18	0.65	5	8.45	6.49	6.49	1.2	29	18	3.7	7.30	5.61	2.1	7.5
14E-14D	DWCB	0.81	0.62	5	8.45	4.25	51.26	0.9	90	42	5.4	7.30	3.67	2.1	5.9
14D-14C	WI	1.19	0.46	5	8.45	4.62	55.89	1.0	85	48	4.5				
14C-14B	SWCB	0.54	0.70	5	8.45	3.18	68.52	1.0	29	48	5.5	7.30	2.75	2.1	7.4
14B-14A	SWCB	0.36	0.68	5	8.45	2.06	70.57	1.0	29	64	4.4	7.30	1.78	2.1	5.8
14A	HW														
15D-16C	SWCB	0.58	0.64	5	8.45	3.15	3.15	1.0	30	18	2.8	7.30	2.72	2.5	7.1
15C-15B	SWCB	0.29	0.69	5	8.45	1.71	4.85	3.2	113	18	5.4	7.30	1.48	2.5	4.9
15B-15A	SWCB	0.28	0.69	5	8.45	1.66	6.52	2.8	30	18	7.5	7.30	1.44	4.0	4.0
15A-14C	SWCB	0.52	0.67	5	8.45	2.93	9.45	2.6	200	24	6.2	7.30	2.53	4.0	5.9
16D-16C	WI	2.24	0.43	5	8.45	8.21	8.21	6.8	107	18	7.2				
16C-16B	WI	0.32	0.64	5	8.45	1.47	13.28	1.0	40	24	4.2	7.30	1.27	7.0	2.6
16B-16A	WI	0.78	0.72	5	8.45	4.76	18.05	1.0	29	24	7.7	7.30	4.12	5.8	7.0
16A-14E	DI	0.48	0.71	5	8.45	2.93	40.52	3.6	136	36	4.5	7.30	2.53	5.8	5.3
FUTURE PIPE TO 16C		0.61	0.70	5	8.45	3.60	3.60			2.0	7.30	3.11	7.0	5.7	
17F-17E	SWCB	0.57	0.64	5	8.45	3.04	3.04	2.4	108	18	2.6	7.30	2.62	2.6	6.8
17E-17D	SWCB	0.40	0.58	5	8.45	1.97	5.01	1.0	29	18	2.8	7.30	1.70	2.0	5.7
17D-17C	SWCB	0.23	0.64	5	8.45	1.07	6.08	1.5	103	18	3.4	7.30	0.92	2.0	3.6
17C-17B	SWCB	0.26	0.45	5	8.45	1.01	9.58	2.2	162	18	5.4	7.30	0.87	1.8	3.6
17B-17A	SWCB	0.59	0.65	5	8.45	3.23	12.80	5.5	150	24	8.4	7.30	2.79	3.7	6.4
17A-16A	SWCB	0.49	0.70	5	8.45	2.91	19.55	6.3	281	24	9.8	7.30	2.51	6.6	6.0
18A-17A	SWCB	0.63	0.72	5	8.45	3.84	3.84	5.3	41	18	6.5	7.30	3.31	6.6	6.0
19A-17C	SWCB	0.45	0.65	5	8.45	2.49	2.49	1.0	29	18	2.0	7.30	2.15	7.8	6.8

* INDICATES CALCULATED FOR 100 YEAR STORM
 DWCB = DOUBLE WING CATCH BASIN
 SWCB = SINGLE WING CATCH BASIN
 JB = JUNCTION BOX
 WI = WEIR INLET
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 OCS = OUTLET CONTROL STRUCTURE

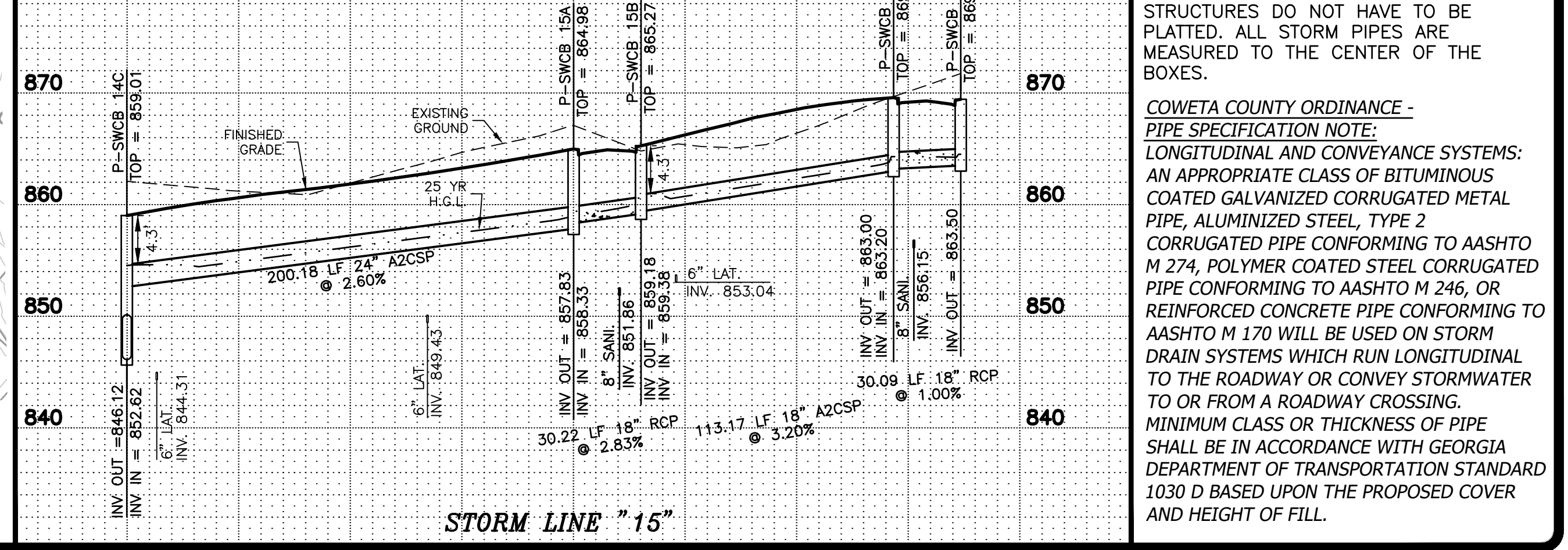
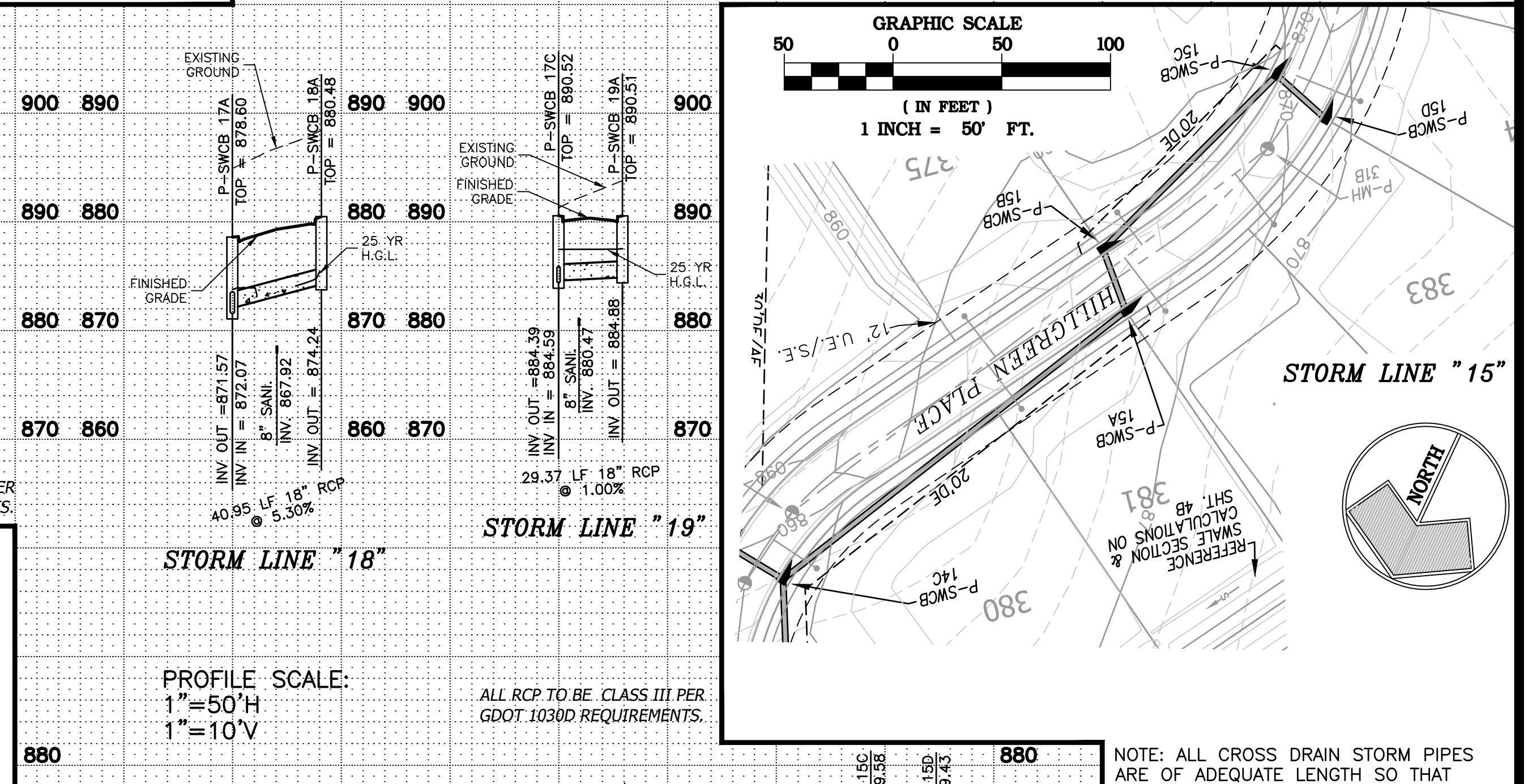
NOTE: FLARED END SECTIONS (FES) AND SAFETY END SECTIONS (SES) TO BE FULLY BITUMINOUS COATED WHERE STORM PIPE IS A2CSP OR RCP CLASS III WHERE STORM PIPE IS RCP.



GDOT STANDARD NUMBERS FOR STORM STRUCTURES:

STRUCTURE	GDOT #
SWCB	1033D
DWCB	1034D
WI	9031S
* JB	1011A
HW	1025
SES	1122

*NOTE - ALL JUNCTION BOXES (JB) TO HAVE ACCESS LIDS AND SHALL NOT BE BURIED.



NOTE: ALL CROSS DRAIN STORM PIPES ARE OF ADEQUATE LENGTH SO THAT STRUCTURES DO NOT HAVE TO BE PLATTED. ALL STORM PIPES ARE MEASURED TO THE CENTER OF THE BOXES.

COWETA COUNTY ORDINANCE - PIPE SPECIFICATION NOTE:
 LONGITUDINAL AND CONVEYANCE SYSTEMS: AN APPROPRIATE CLASS OF BITUMINOUS COATED GALVANIZED CORRUGATED METAL PIPE, ALUMINIZED STEEL, TYPE 2 CORRUGATED PIPE CONFORMING TO AASHTO M 274, POLYMER COATED STEEL CORRUGATED PIPE CONFORMING TO AASHTO M 246, OR REINFORCED CONCRETE PIPE CONFORMING TO AASHTO M 170 WILL BE USED ON STORM DRAIN SYSTEMS WHICH RUN LONGITUDINAL TO THE ROADWAY OR CONVEY STORMWATER TO OR FROM A ROADWAY CROSSING. MINIMUM CLASS OR THICKNESS OF PIPE SHALL BE IN ACCORDANCE WITH GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD 1030 D BASED UPON THE PROPOSED COVER AND HEIGHT OF FILL.



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STORM SEWER PLAN AND PROFILES FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT

1ST DISTRICT - LAND LOTS 151-152
 COWETA COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS
5	11/22/23	COMMENTS AND REVISIONS PER COUNTY COMMENTS
4	06/12/23	REVISIONS PER COUNTY COMMENTS
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET **11C** OF **25**

APPROVED

15T-22-000042
3/15/24



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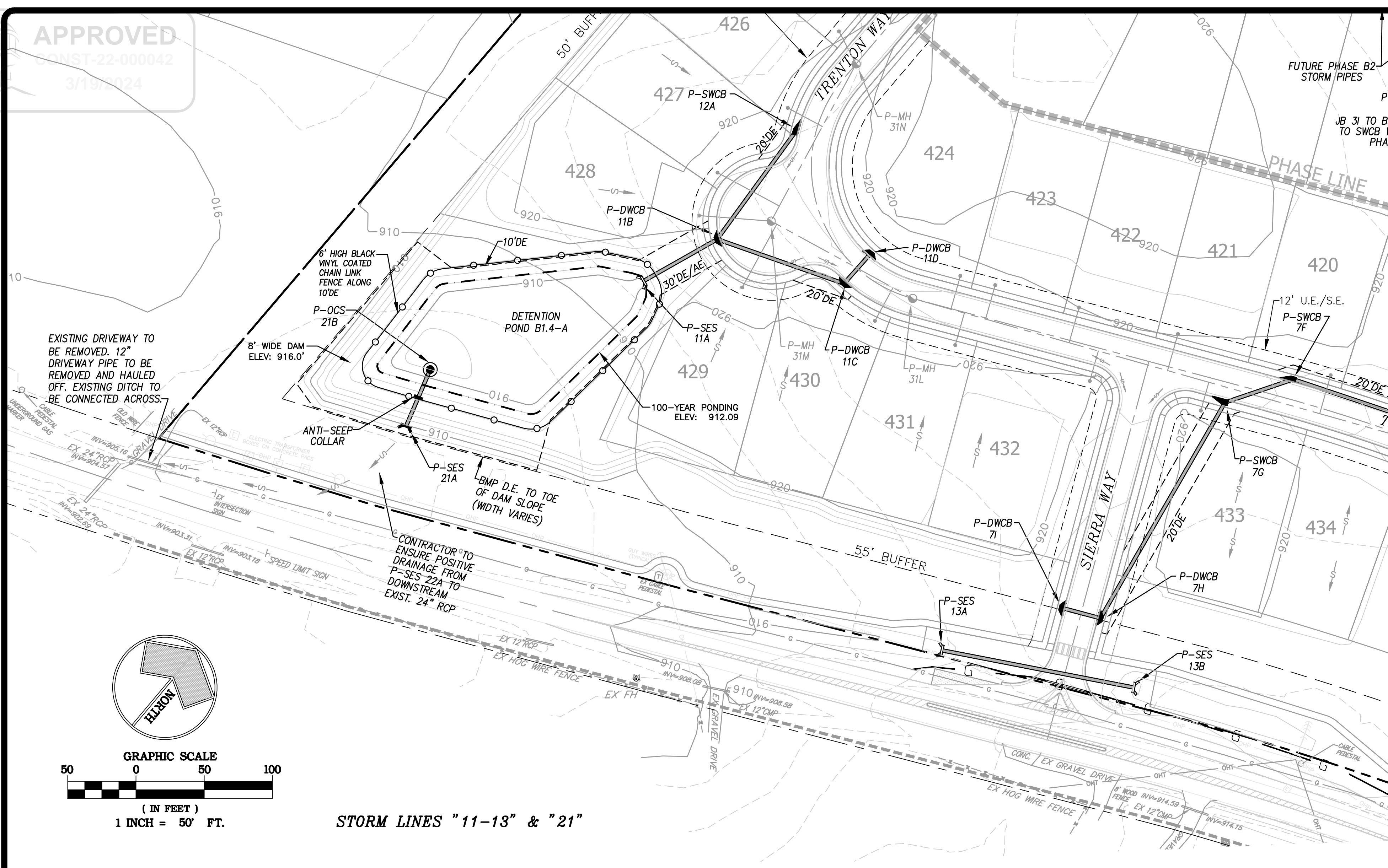
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STORM SEWER PLAN AND PROFILES FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COWETA COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS
5	11/22/23	REVISIONS PER COUNTY COMMENTS AND RIMLEY HORN COMMENTS
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2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET 11D OF 25



COWETA COUNTY ORDINANCE - PIPE SPECIFICATION NOTE:
LONGITUDINAL AND CONVEYANCE SYSTEMS: AN APPROPRIATE CLASS OF BITUMINOUS COATED GALVANIZED CORRUGATED METAL PIPE, ALUMINIZED STEEL, TYPE 2 CORRUGATED PIPE CONFORMING TO AASHTO M 274, POLYMER COATED STEEL CORRUGATED PIPE CONFORMING TO AASHTO M 246, OR REINFORCED CONCRETE PIPE CONFORMING TO AASHTO M 170 WILL BE USED ON STORM DRAIN SYSTEMS WHICH RUN LONGITUDINAL TO THE ROADWAY OR CONVEY STORMWATER TO OR FROM A ROADWAY CROSSING. MINIMUM CLASS OR THICKNESS OF PIPE SHALL BE IN ACCORDANCE WITH GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD 1030 D BASED UPON THE PROPOSED COVER AND HEIGHT OF FILL.

NOTE: ALL CROSS DRAIN STORM PIPES ARE OF ADEQUATE LENGTH SO THAT STRUCTURES DO NOT HAVE TO BE PLATTED. ALL STORM PIPES ARE MEASURED TO THE CENTER OF THE BOXES.

GADOT STANDARD NUMBERS FOR STORM STRUCTURES:

STRUCTURE	GADOT #
SWCB	1033D
DWCB	1034D
WI	9031S
JB	1011A
HW	1025
SES	1122

*NOTE - ALL JUNCTION BOXES (JB) TO HAVE ACCESS LIDS AND SHALL NOT BE BURIED.

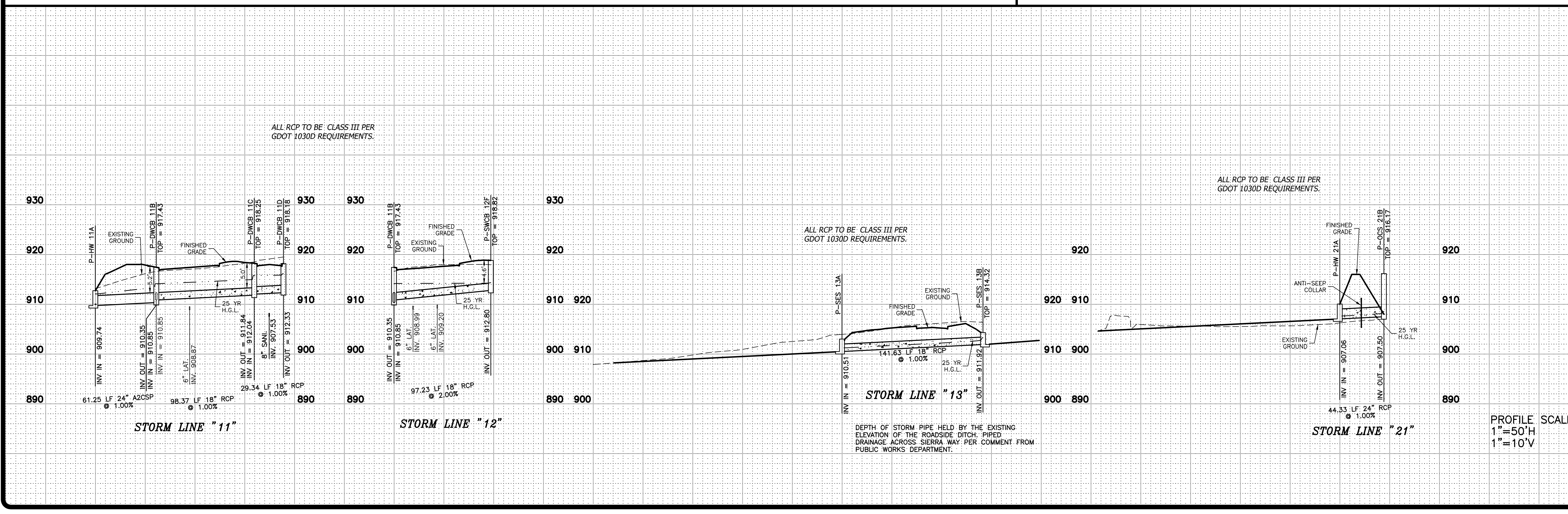
NOTE: FLARED END SECTIONS (FES) AND SAFETY END SECTIONS (SES) TO BE FULLY BITUMINOUS COATED WHERE STORM PIPE IS A2CSP OR RCP CLASS III WHERE STORM PIPE IS RCP.

Twelve Parks, Phase B1
PIPE CHART

Location	Inlet Type	(Acres)	C	Tc (Min)	i25 (In/Hr)	Q25 (cfs)	Q (Sum) (cfs)	Slope %	Lgth (ft.)	Size (In)	Vel. (fps)	I 10 (In/Hr)	Q 10 (cfs)	Gutter Slope	Gutter Spread
11D-11C	DWCB	1.16	0.62	5	8.45	6.05	6.05	1.0	29	18	3.4	7.30	5.23	1.5	7.9
11C-11B	DWCB	0.79	0.68	5	8.45	4.54	10.59	1.0	98	18	6.0	7.30	3.92	1.5	7.2
11B-11A	DWCB	0.81	0.71	5	8.45	4.88	18.37	1.0	61	24	5.9	7.30	4.21	1.5	7.4
11A	SES														
12A-11B	SWCB	0.51	0.67	5	8.45	2.91	2.91	2.0	97	18	2.0	7.30	2.51	1.8	7.5
13B-13A	SES	1.23	0.50	5	8.45	5.19	5.19	1.0	142	18	6.1				
13A	SES														
*21B-21A	OCS	SEE HYDRO-POND B1.4				4.10	4.10	1.0	44	24	5.3				
*21A	SES														

* INDICATES CALCULATED FOR 100 YEAR STORM
DWCB = DOUBLE WING CATCH BASIN
SWCB = SINGLE WING CATCH BASIN
JB = JUNCTION BOX
WI = WEIR INLET
HW = HEADWALL
OCS = OUTLET CONTROL STRUCTURE

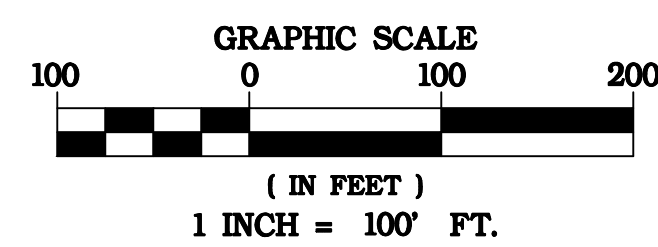
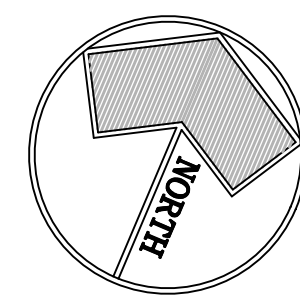
NO MORE THAN 1.5 ACRES OF DRAINAGE PER SINGLE WING CATCH BASIN AND 3 ACRES OF DRAINAGE PER DOUBLE WING IS ALLOWED. ALL DRAINAGE AREAS TO CATCH BASINS ARE WITHIN THOSE LIMITS.



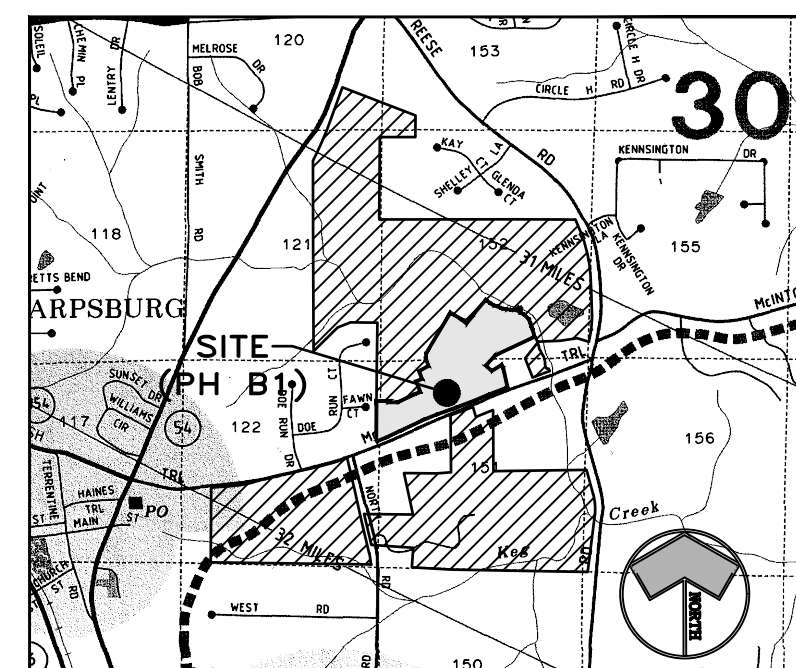
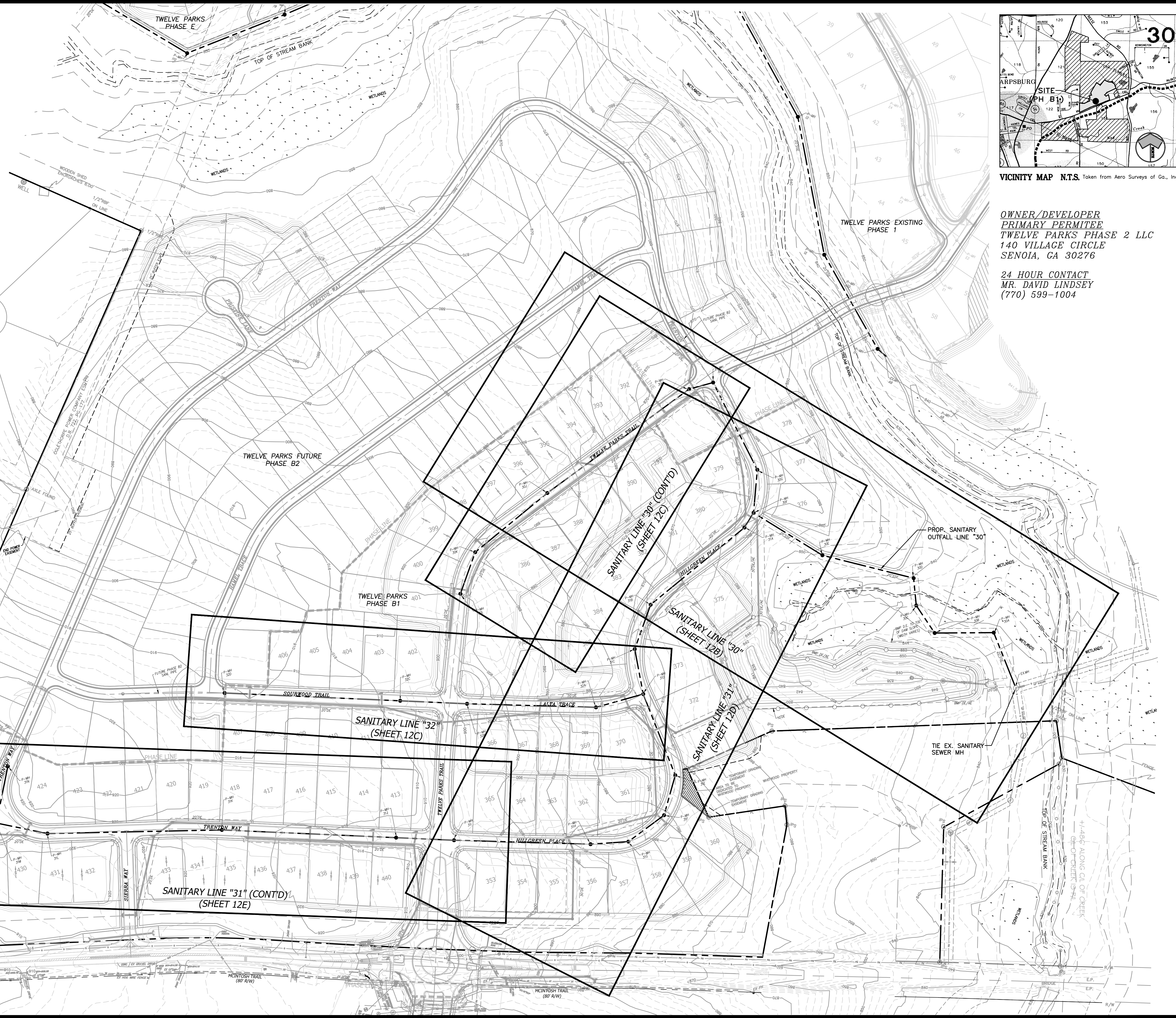
APPROVED

CONST-22-000042

3/19/2024



NOTE: CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO COWETA COUNTY WATER AND SEWERAGE AUTHORITY SPECIFICATIONS FOR SANITARY SEWERAGE LINE BEDDING, INSTALLATION AND BACKFILL COMPACTION.



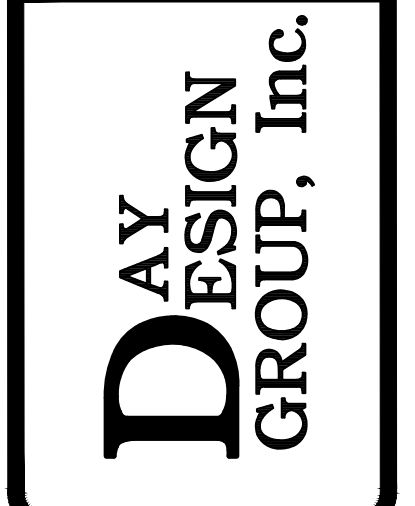
VICINITY MAP N.T.S. Taken from Aero Surveys of Ga., Inc.

OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276

24 HOUR CONTACT
MR. DAVID LINDSEY
(770) 599-1004



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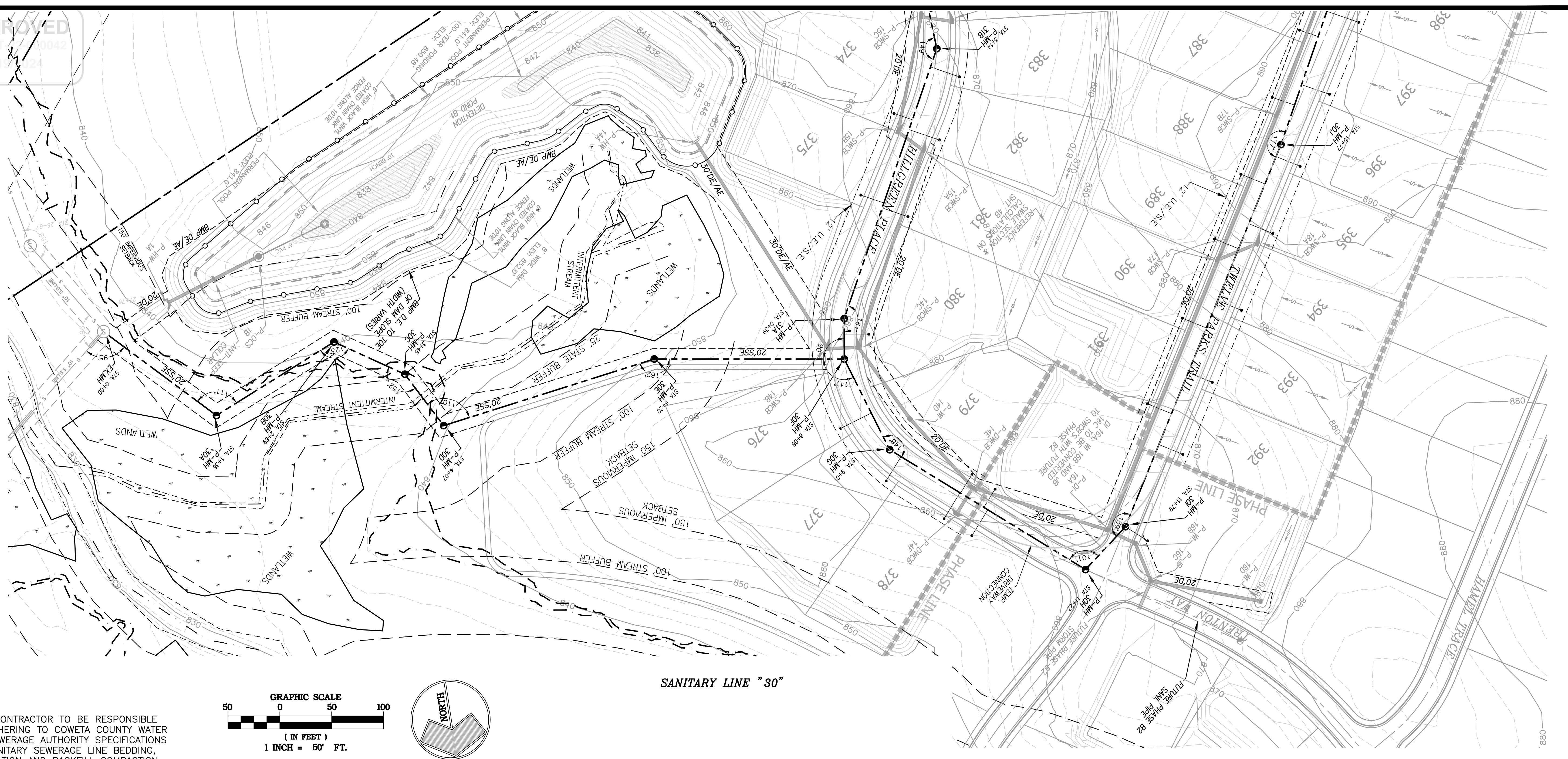
OVERALL SANITARY SEWER PLAN
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COWETA COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
6	02/15/24	REVISIONS PER COUNTY COMMENTS
5	11/22/23	CONTRACTOR COMMENTS AND REVISIONS PER COUNTY COMMENTS
4	06/12/23	REVISIONS PER COUNTY COMMENTS
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

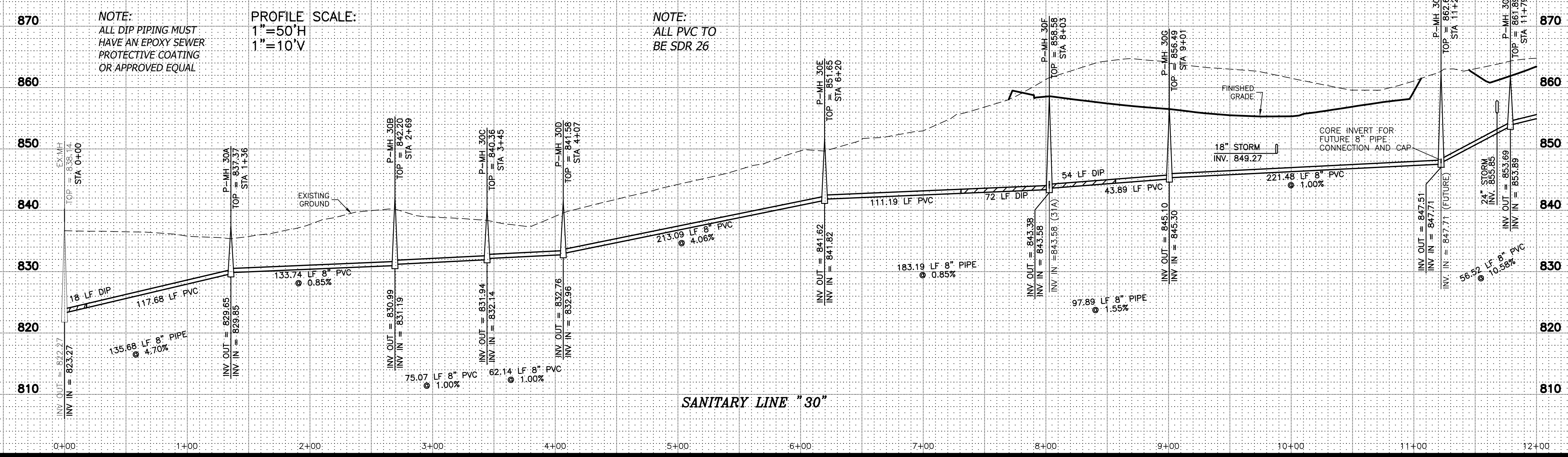
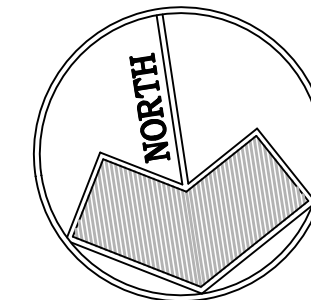
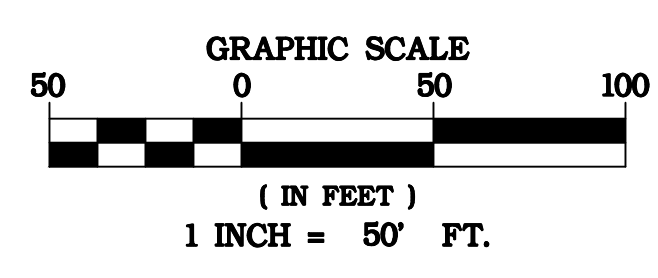
SHEET OF
12A 25

APPROVED
CONST. NO. 0042
3/19/24



SANITARY LINE "30"

NOTE: CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO COWETA COUNTY WATER AND SEWERAGE AUTHORITY SPECIFICATIONS FOR SANITARY SEWER LINE BEDDING, INSTALLATION AND BACKFILL COMPACTION.



SANITARY LINE "30"



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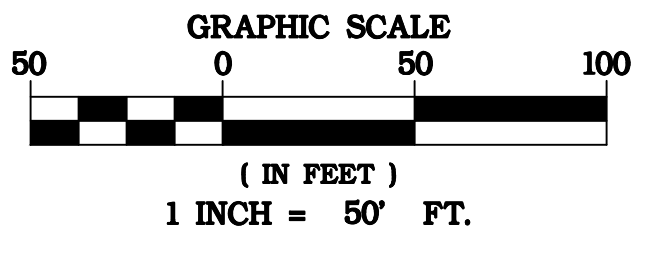
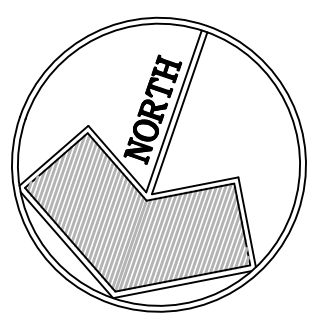
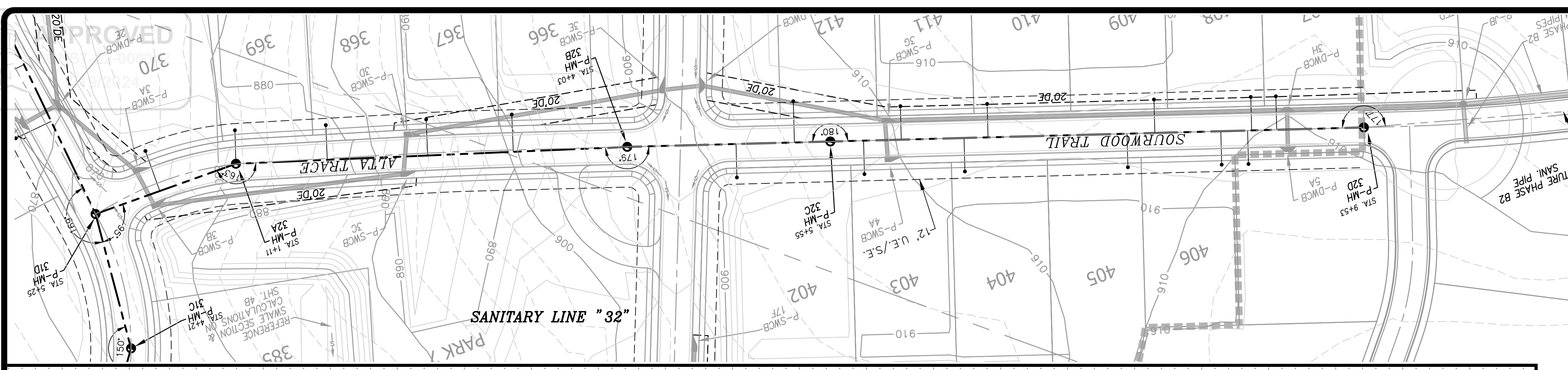
SANITARY SEWER PLAN AND PROFILES
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT

1ST DISTRICT - LAND LOTS 151-152
COWETA COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
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DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET OF
12B 25

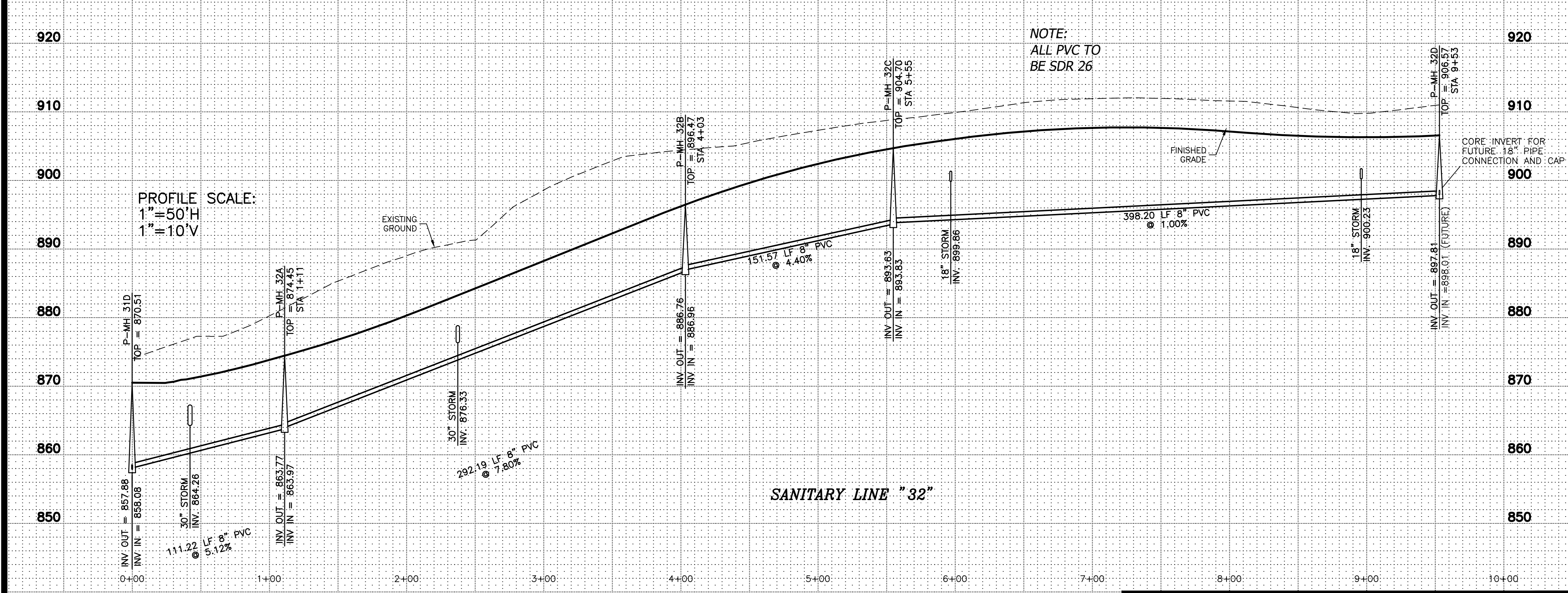


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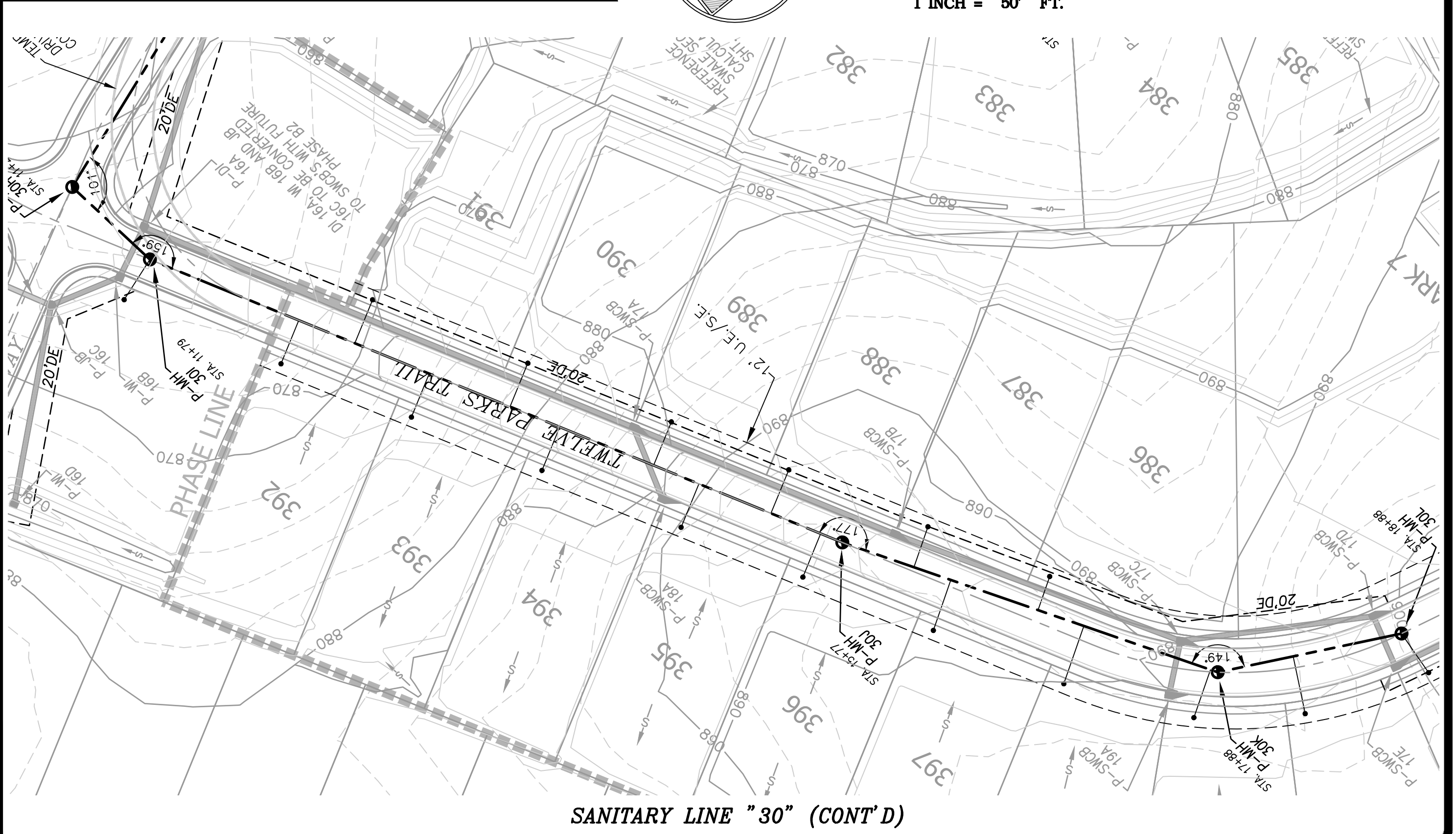
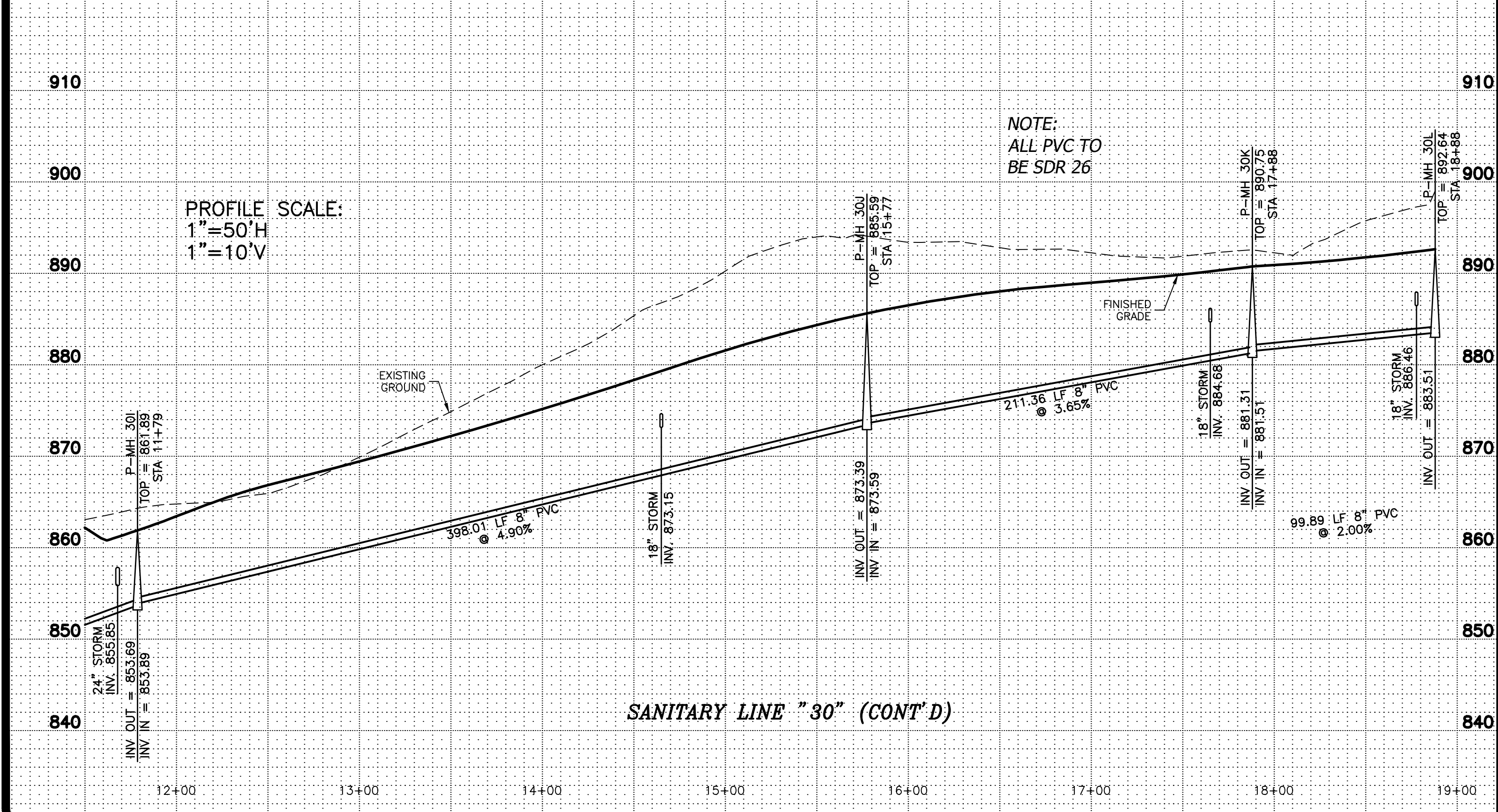
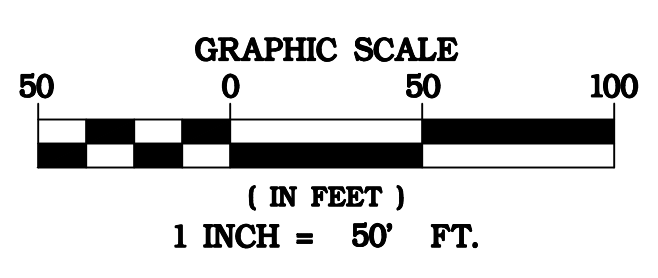
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NOTE: CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO COWETA COUNTY WATER AND SEWERAGE AUTHORITY SPECIFICATIONS FOR SANITARY SEWERAGE LINE BEDDING, INSTALLATION AND BACKFILL COMPACTION.



SANITARY SEWER PLAN AND PROFILES FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT

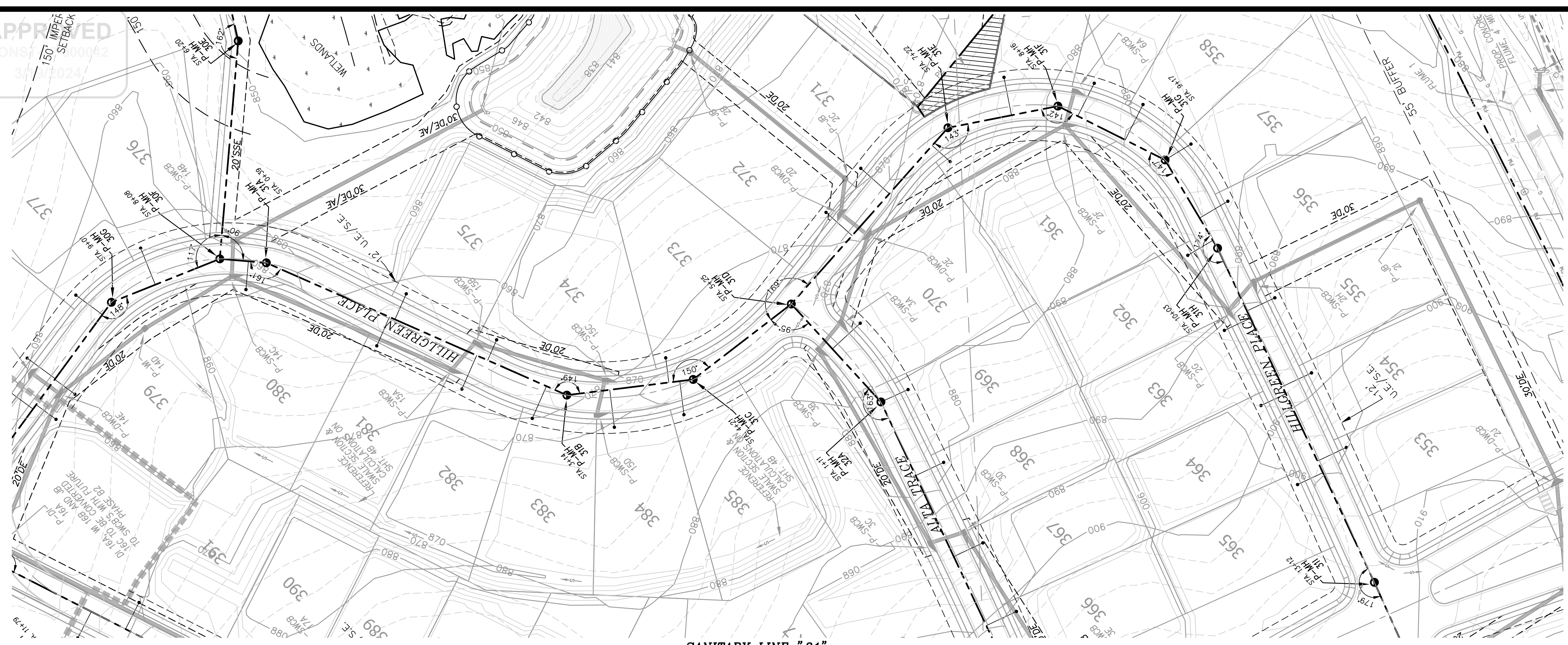
1ST DISTRICT - LAND LOTS 151-152
 COWETA COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
9	02/15/24	REVISIONS PER COUNTY COMMENTS
8	11/22/23	REVISIONS PER COUNTY COMMENTS AND RIMLEY HORN COMMENTS
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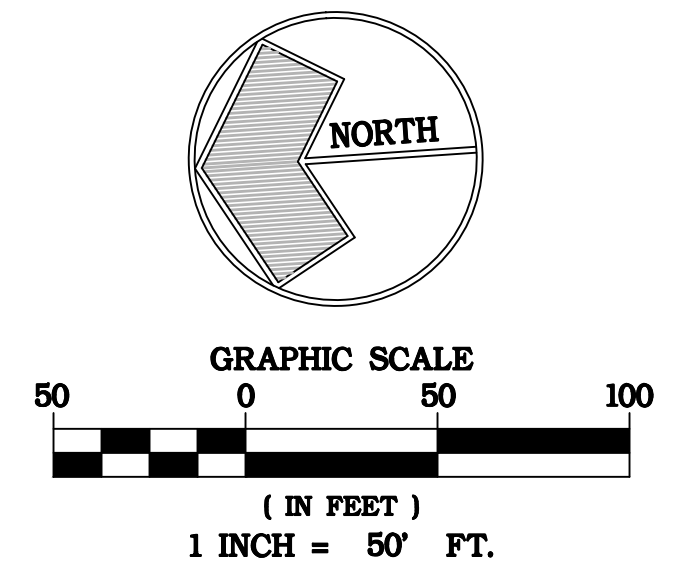
DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET **12C** OF **25**

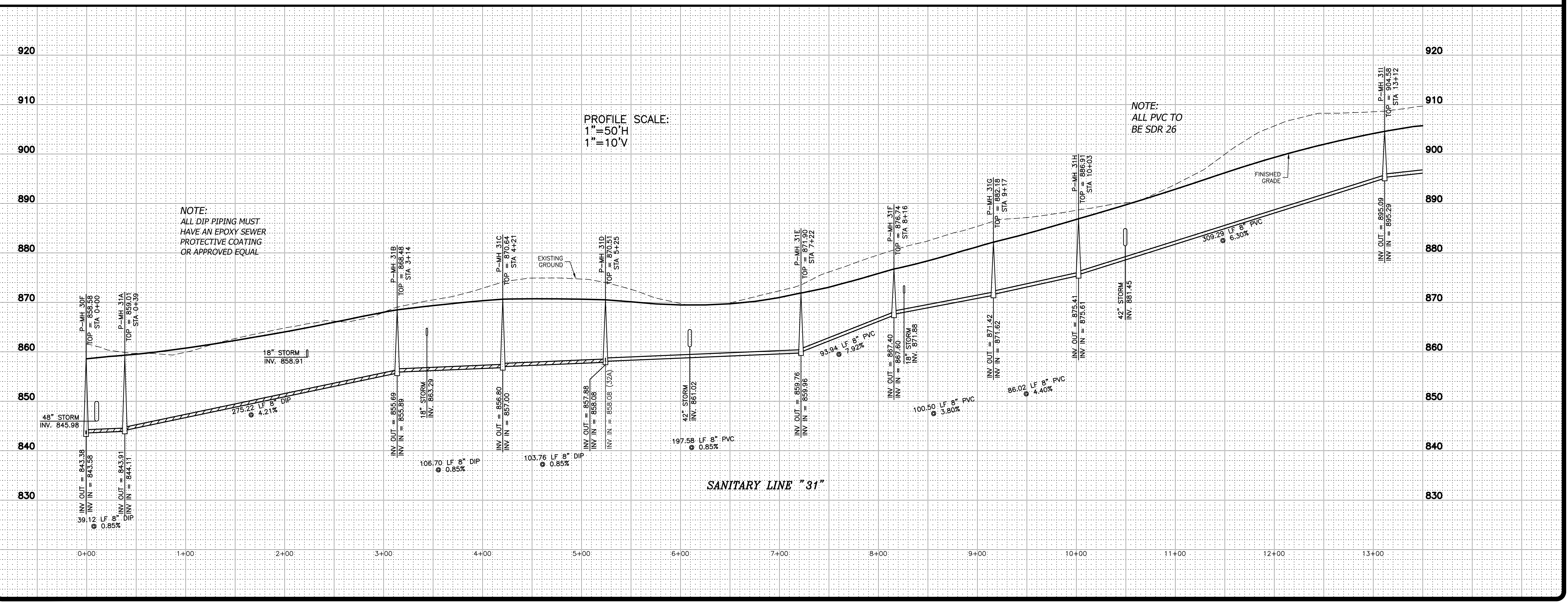
APPROVED
CONST. 000002



SANITARY LINE "31"



NOTE: CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO COWETA COUNTY WATER AND SEWERAGE AUTHORITY SPECIFICATIONS FOR SANITARY SEWER LINE BEDDING, INSTALLATION AND BACKFILL COMPACTION.



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SANITARY SEWER PLAN AND PROFILES
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COWETA COUNTY, GEORGIA

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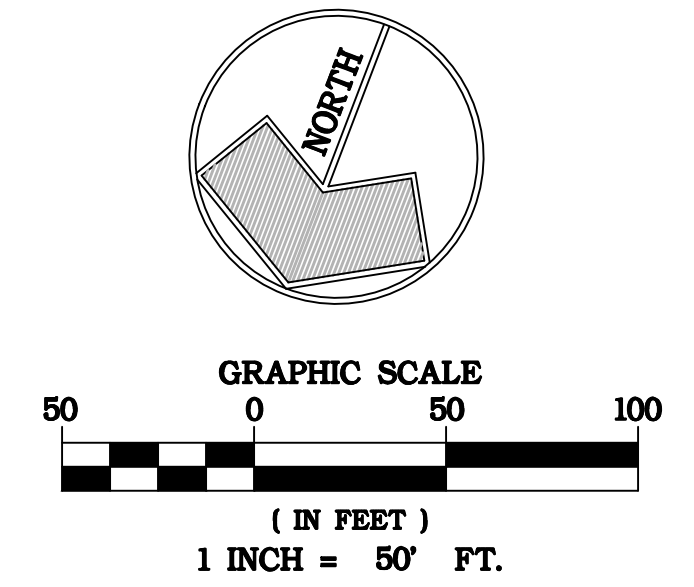
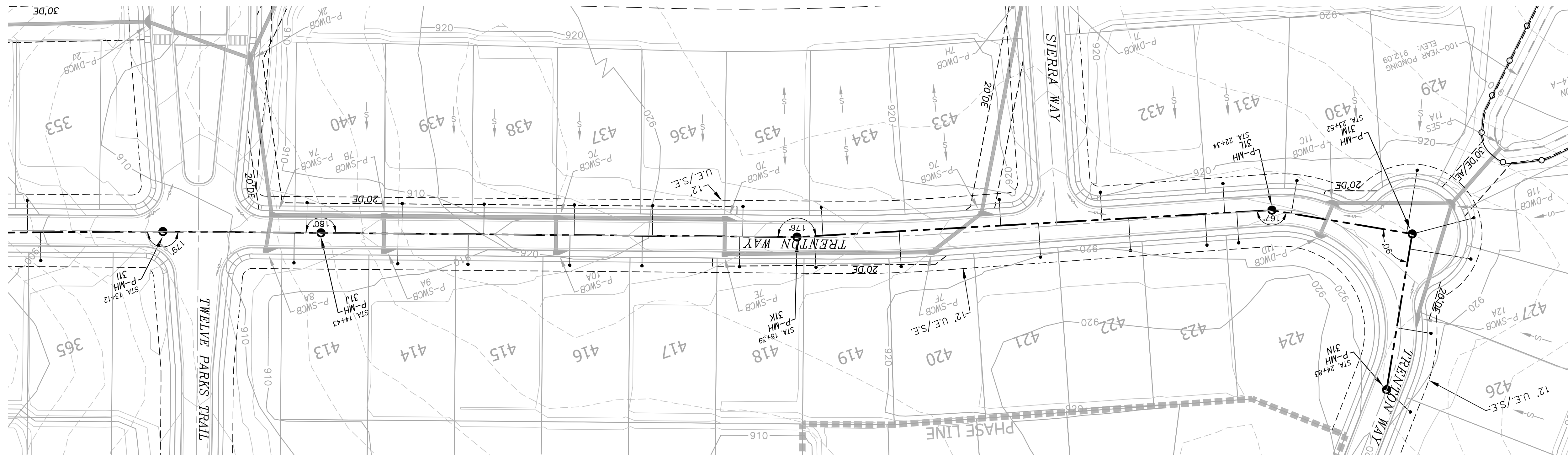
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SANITARY SEWER PLAN AND PROFILES
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COWETA COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
4	11/22/23	REVISIONS PER COUNTY COMMENTS AND RIMLEY HORN COMMENTS
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3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
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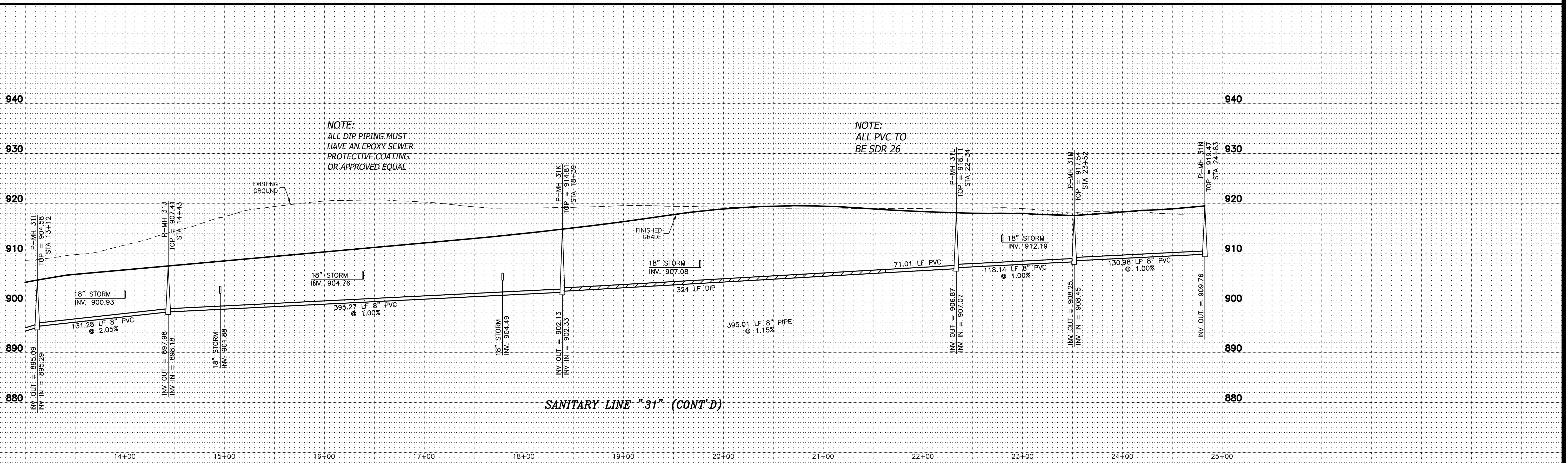
DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET OF
12E 25



SANITARY LINE "31" (CONT'D)

NOTE: CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO COWETA COUNTY WATER AND SEWERAGE AUTHORITY SPECIFICATIONS FOR SANITARY SEWER LINE BEDDING, INSTALLATION AND BACKFILL COMPACTION.



NOTE:
ALL DIP PIPING MUST
HAVE AN EPOXY SEWER
PROTECTIVE COATING
OR APPROVED EQUAL

NOTE:
ALL PVC TO
BE SDR 26

SANITARY LINE "31" (CONT'D)

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET OF
12E 25

APPROVED
CONSULTING ENGINEER

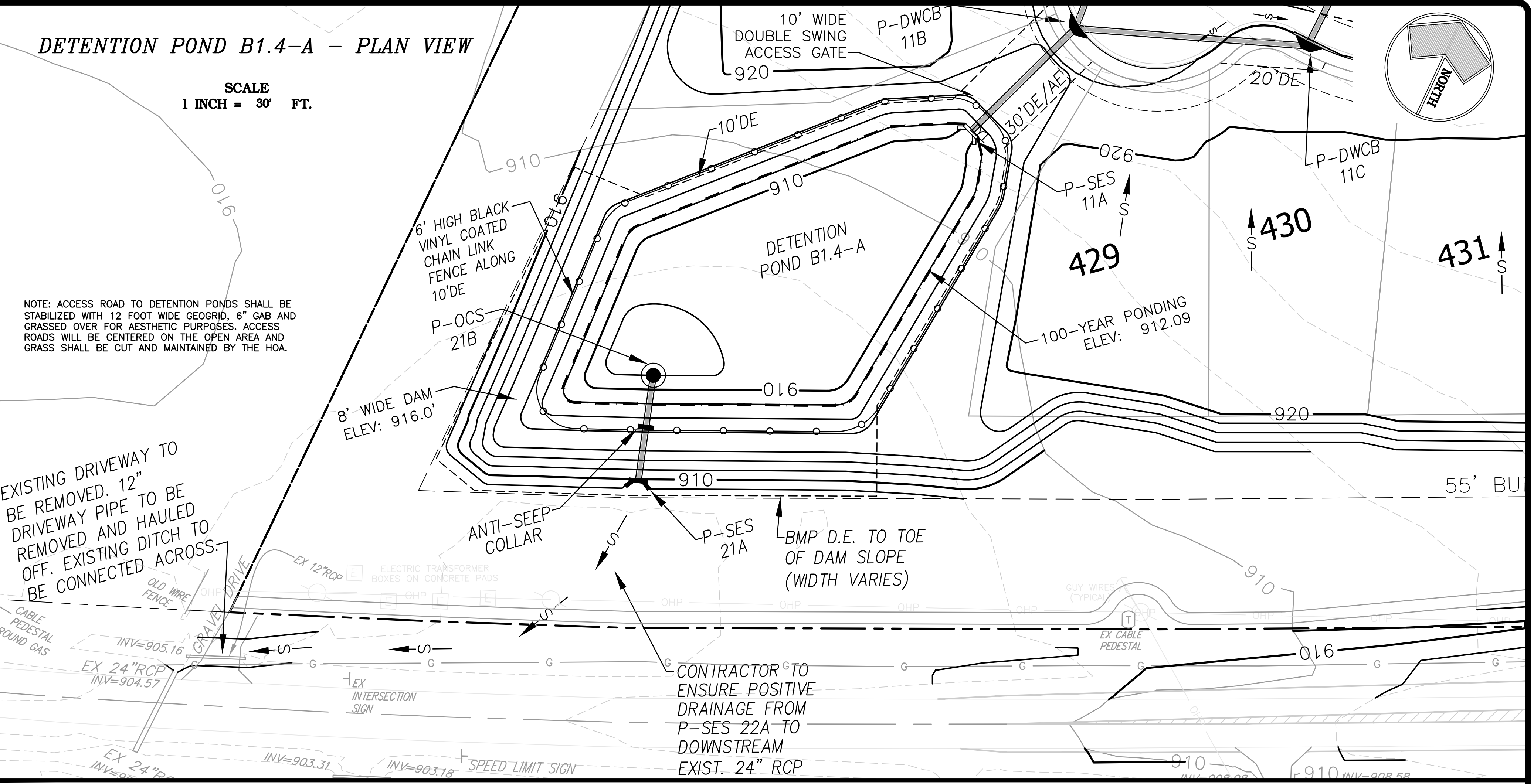
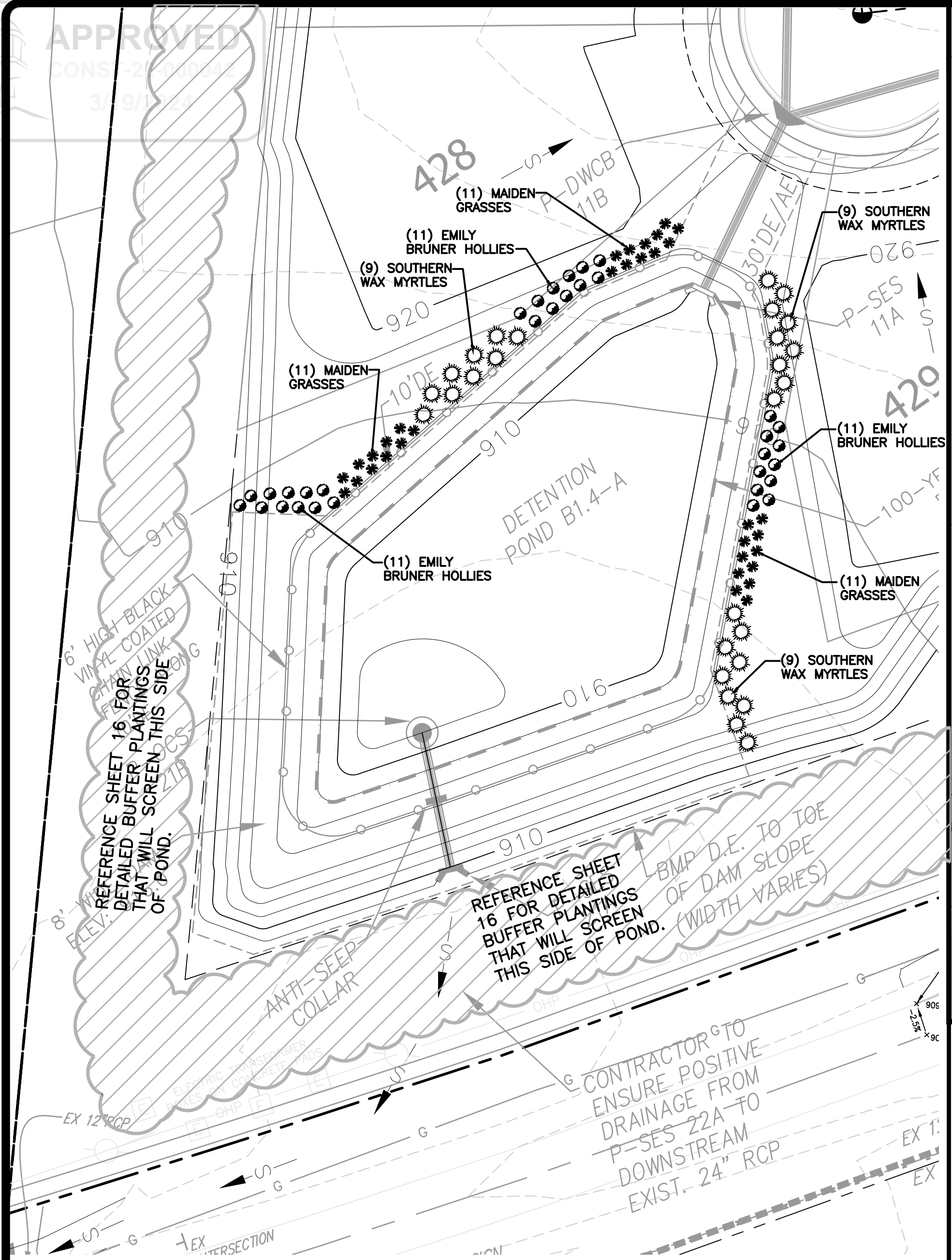
DETENTION POND B1.4-A - PLAN VIEW

SCALE
1 INCH = 30' FT.

NOTE: ACCESS ROAD TO DETENTION PONDS SHALL BE STABILIZED WITH 12 FOOT WIDE GEOGRID, 6" GAB AND GRASSED OVER FOR AESTHETIC PURPOSES. ACCESS ROADS WILL BE CENTERED ON THE OPEN AREA AND GRASS SHALL BE CUT AND MAINTAINED BY THE HOA.

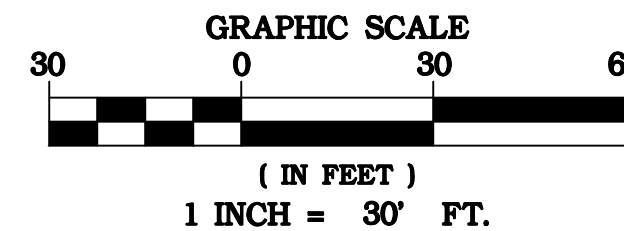
EXISTING DRIVEWAY TO BE REMOVED. 12" DRIVEWAY PIPE TO BE REMOVED AND HAULED OFF. EXISTING DITCH TO BE CONNECTED ACROSS.

CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM P-SES 22A TO DOWNSTREAM EXIST. 24" RCP



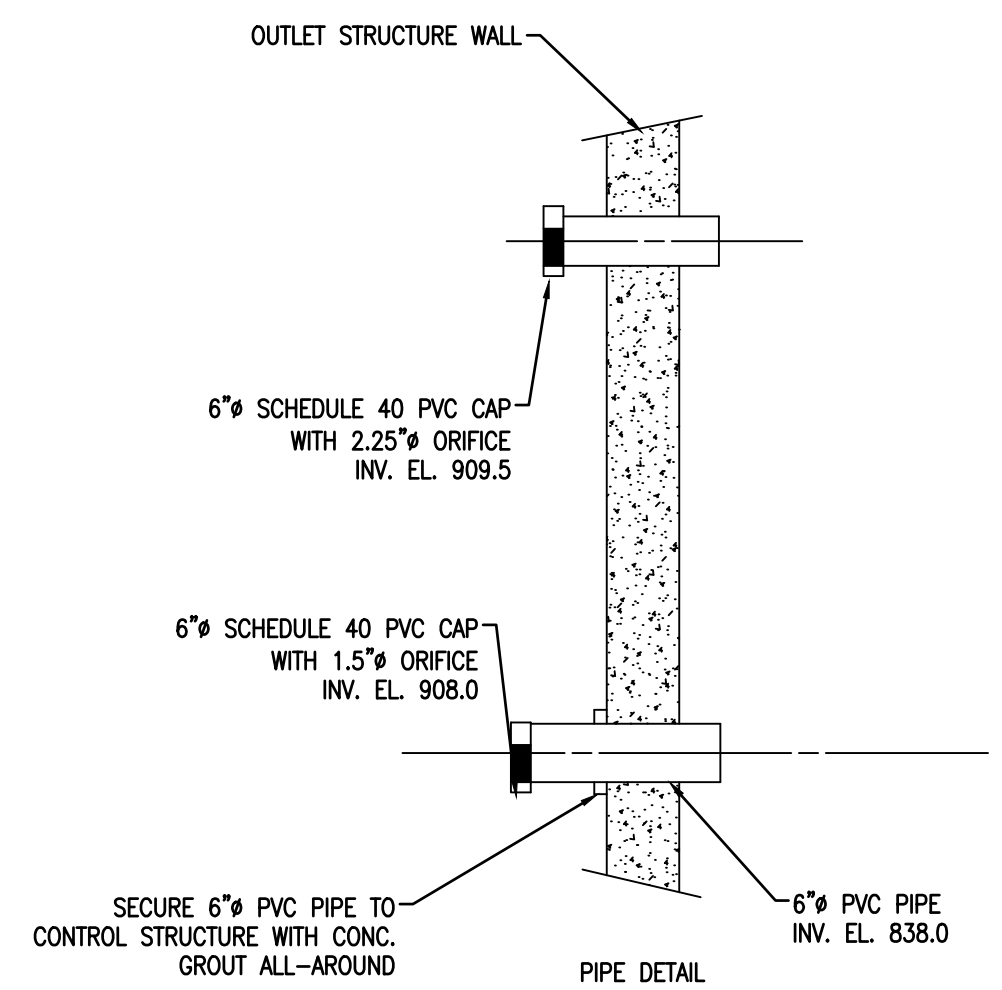
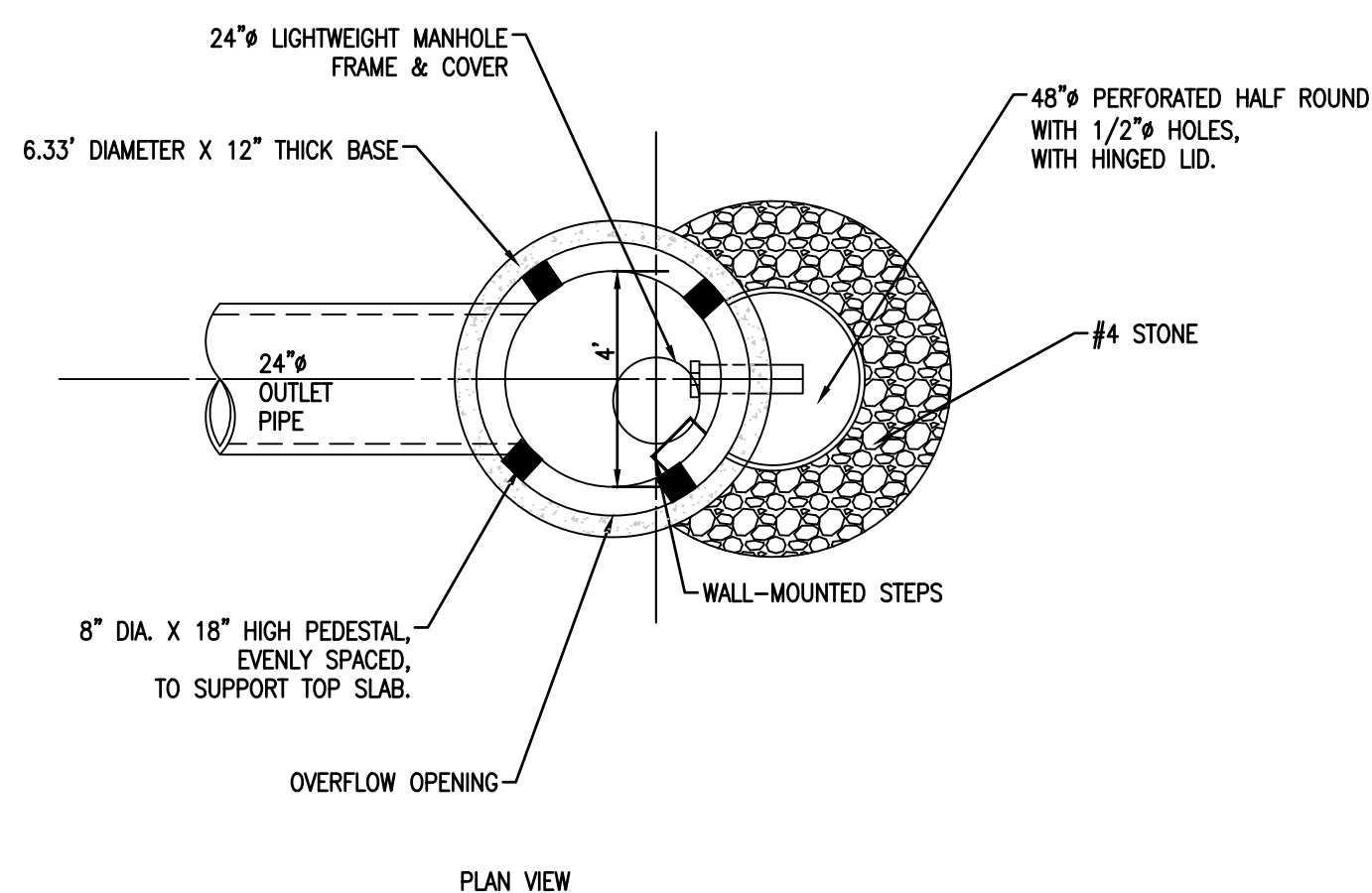
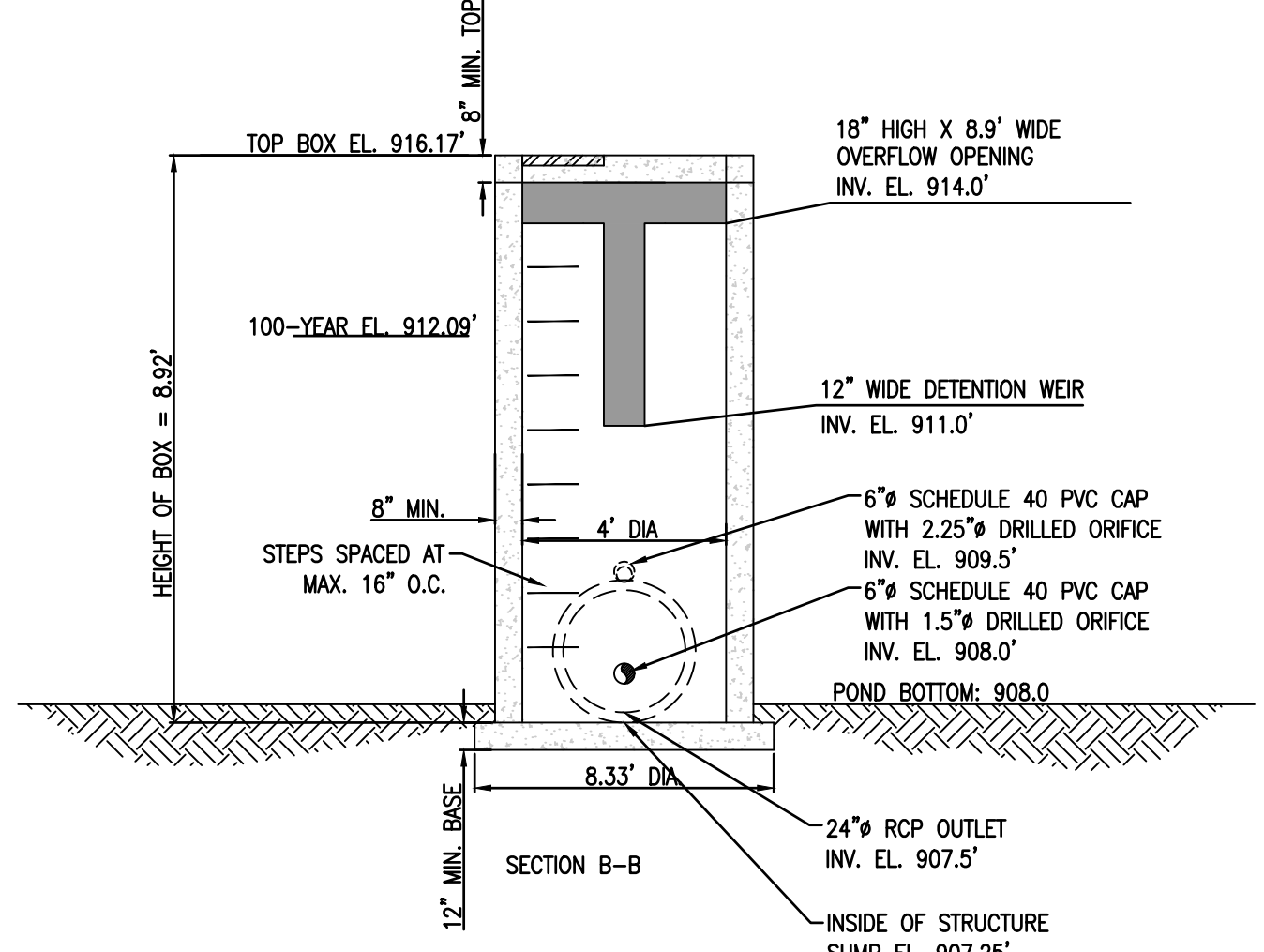
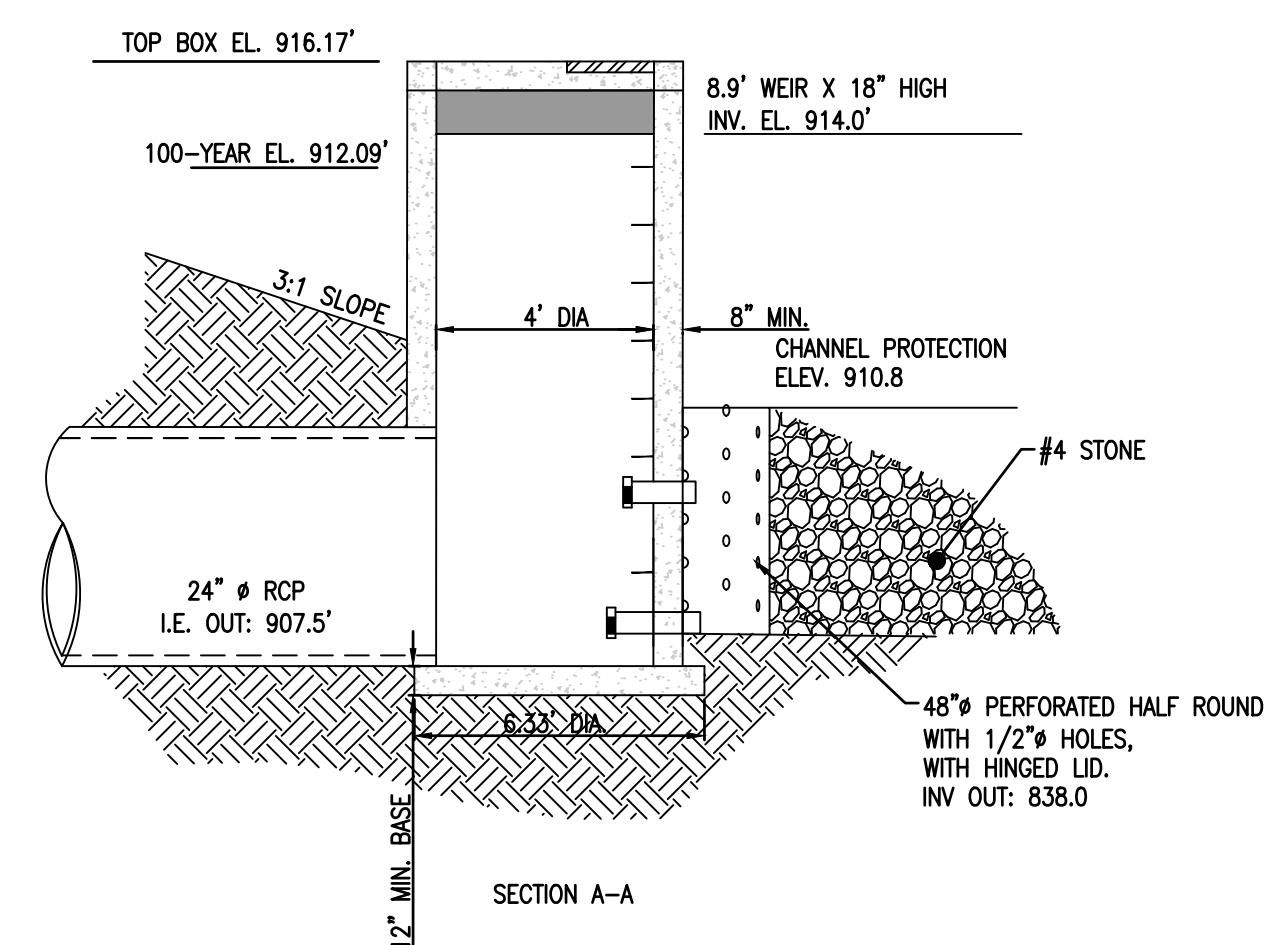
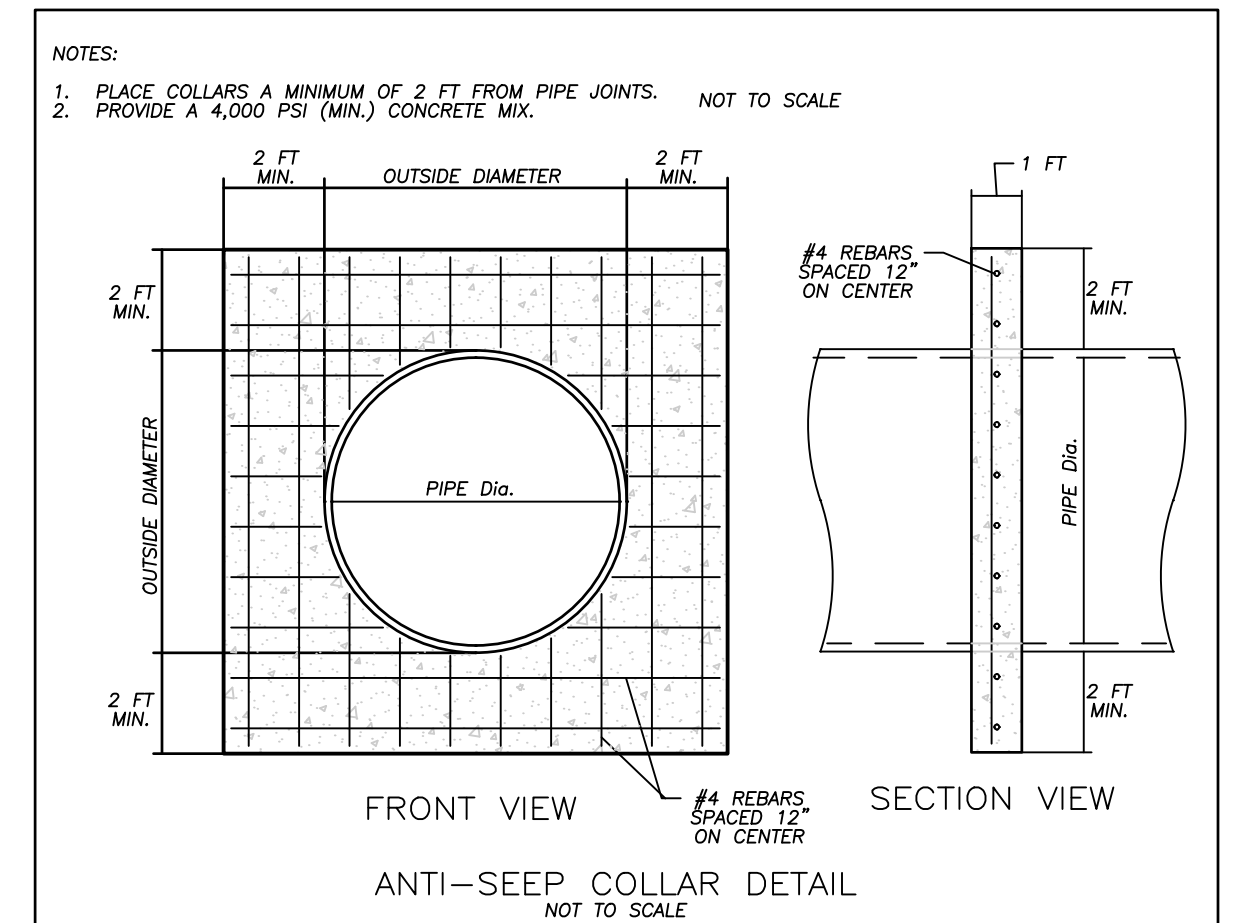
DETENTION POND B1.4 LANDSCAPE PLAN

NOTE: IF AT THE TIME OF FINAL PLAT IT IS FOUND THAT ADDITIONAL POND SCREENING SHRUBBERY IS NEEDED, IT SHALL BE THE PERMITEE'S RESPONSIBILITY TO PROVIDE.



PLANTING SCHEDULE - FOR CONVENIENCE PURPOSES ONLY! - ALL QUANTITIES TO BE VERIFIED BY CONTRACTOR.

SHRUBS	I LEX x 'EMILY BRUNER'	EMILY BRUNER HOLLY	3 GAL.	24" MIN HEIGHT	33 CONT.	FULL, DENSE, SPRAWLING HABIT
	MISCANTHUS sinensis 'GRACILLIMUS'	MAIDEN GRASS	3 GAL.	24" MIN HEIGHT	33 CONT.	FULL, DENSE, DARK FOLIAGE
	MYRICA cerifera	SOUTHERN WAX MYRTLE	3 GAL.	24" MIN. HEIGHT	27 CONT.	FULL, DENSE SPECIMEN



DETENTION POND B1.4-A - OCS DETAIL



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DETENTION POND PLANS, PROFILES & DETAILS
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COMETA COUNTY, GEORGIA

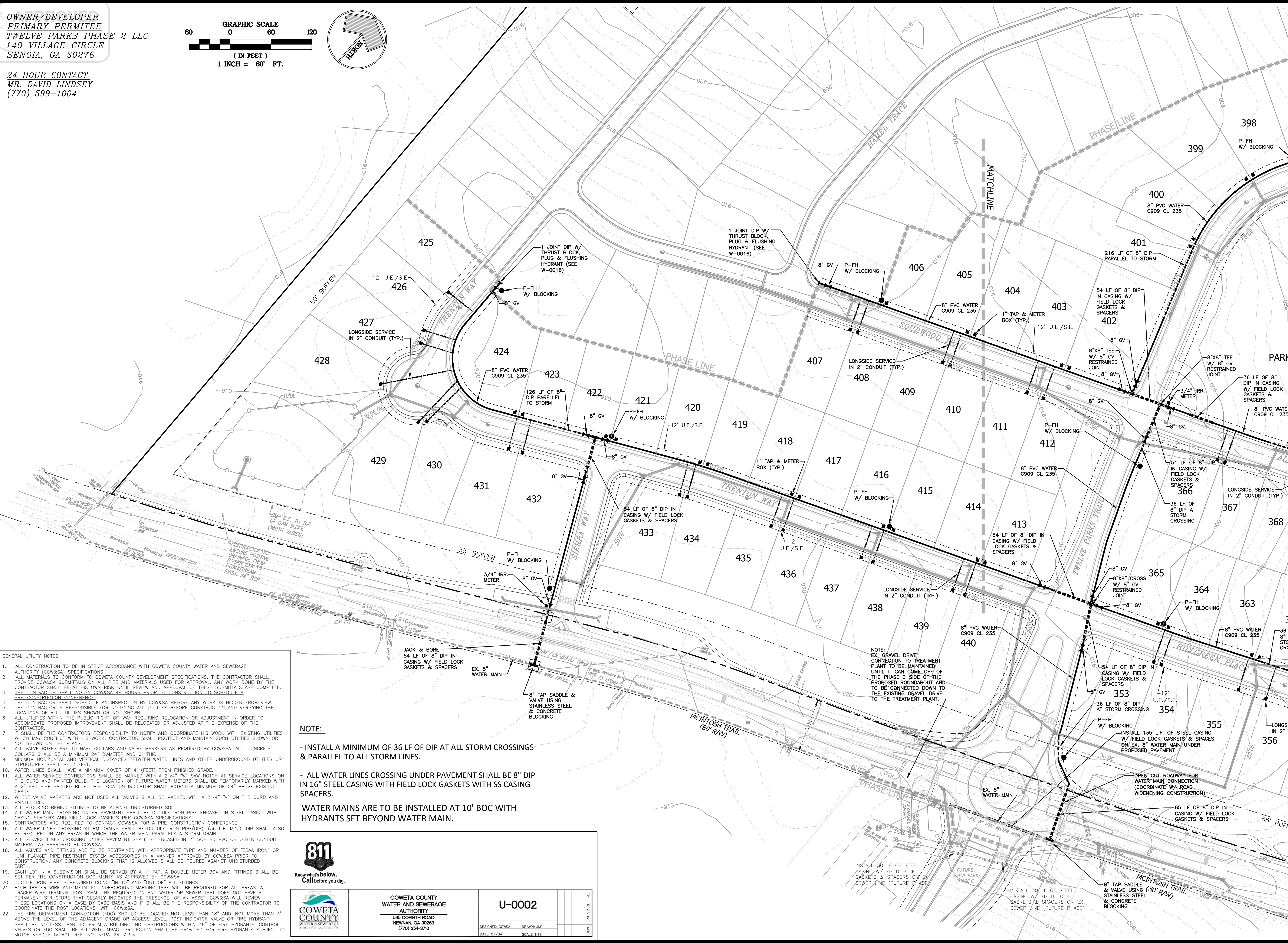
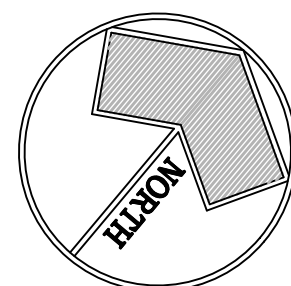
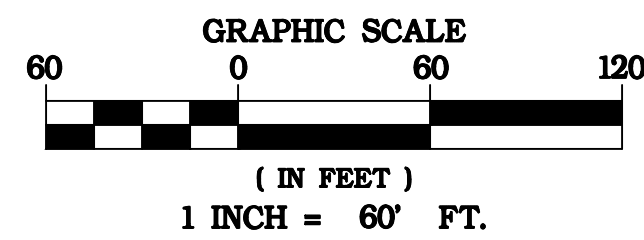
NO.	DATE	REVISIONS	DESCRIPTION
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DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET 13A OF 25

OWNER/DEVELOPER
 PRIMARY PERMITEE
 TWELVE PARKS PHASE 2 LLC
 140 VILLAGE CIRCLE
 SENOIA, GA 30276

24 HOUR CONTACT
 MR. DAVID LINDSEY
 (770) 599-1004



- GENERAL UTILITY NOTES:
1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH COWETA COUNTY WATER AND SEWERAGE AUTHORITY (CCW&SA) SPECIFICATIONS.
 2. ALL MATERIALS TO CONFORM TO COWETA COUNTY DEVELOPMENT SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE CCW&SA SUBMITTALS ON ALL PIPE AND MATERIALS USED FOR APPROVAL. ANY WORK DONE BY THE CONTRACTOR SHALL BE AT HIS OWN RISK UNTIL REVIEW AND APPROVAL OF THESE SUBMITTALS ARE COMPLETE. THE CONTRACTOR SHALL NOTIFY CCW&SA 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION CONFERENCE.
 3. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY CCW&SA BEFORE ANY WORK IS HIDDEN FROM VIEW. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITIES BEFORE CONSTRUCTION AND VERIFYING THE LOCATIONS OF ALL UTILITIES SHOWN OR NOT SHOWN.
 4. ALL UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRING RELOCATION OR ADJUSTMENT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENT SHALL BE RELOCATED OR ADJUSTED AT THE EXPENSE OF THE CONTRACTOR.
 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE HIS WORK WITH EXISTING UTILITIES WHICH MAY CONFLICT WITH HIS WORK. CONTRACTOR SHALL PROTECT AND MAINTAIN SUCH UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.
 6. ALL VALVE BOXES ARE TO HAVE COLLARS AND VALVE MARKERS AS REQUIRED BY CCW&SA. ALL CONCRETE COLLARS SHALL BE A MINIMUM 24" DIAMETER AND 6" THICK.
 7. MINIMUM HORIZONTAL AND VERTICAL DISTANCES BETWEEN WATER LINES AND OTHER UNDERGROUND UTILITIES OR STRUCTURES SHALL BE 2 FEET.
 8. ALL WATER SERVICE CONNECTIONS SHALL BE MARKED WITH A 2"x4" "W" SAW NOTCH AT SERVICE LOCATIONS ON THE CURB AND PAINTED BLUE. THE LOCATION OF FUTURE WATER METERS SHALL BE TEMPORARILY MARKED WITH A 2" PVC PIPE PAINTED BLUE. THIS LOCATION INDICATOR SHALL EXTEND A MINIMUM OF 24" ABOVE EXISTING GRADE.
 9. WHERE VALVE MARKERS ARE NOT USED ALL VALVES SHALL BE MARKED WITH A 2"x4" "V" ON THE CURB AND PAINTED BLUE.
 10. ALL BLOCKING BEHIND FITTINGS TO BE AGAINST UNDISTURBED SOIL.
 11. ALL WATER MAIN CROSSING UNDER PAVEMENT SHALL BE DUCTILE IRON PIPE ENCASED IN STEEL CASING WITH CASING SPACERS AND FIELD LOCK GASKETS PER CCW&SA SPECIFICATIONS.
 12. CONTRACTORS ARE REQUIRED TO CONTACT CCW&SA FOR A PRE-CONSTRUCTION CONFERENCE.
 13. ALL WATER LINES CROSSING STORM DRAINS SHALL BE DUCTILE IRON PIPE (DIP). (36 LF. MIN.). DIP SHALL ALSO BE REQUIRED IN ANY AREAS IN WHICH THE WATER MAIN PARALLELS A STORM DRAIN.
 14. ALL SERVICE LINES CROSSING UNDER PAVEMENT SHALL BE ENCASED IN 2" SCH 80 PVC OR OTHER CONDUIT MATERIAL AS APPROVED BY CCW&SA.
 15. ALL VALVES AND FITTINGS ARE TO BE RESTRAINED WITH APPROPRIATE TYPE AND NUMBER OF "EBA" IRON OR "UNI-FLANGE" PIPE RESTRAINT SYSTEM ACCESSORIES IN A MANNER APPROVED BY CCW&SA PRIOR TO CONSTRUCTION. ANY CONCRETE BLOCKING THAT IS ALLOWED SHALL BE POURED AGAINST UNDISTURBED EARTH.
 16. EACH LOT IN A SUBDIVISION SHALL BE SERVED BY A 1" TAP. A DOUBLE METER BOX AND FITTINGS SHALL BE SET PER THE CONSTRUCTION DOCUMENTS AS APPROVED BY CCW&SA.
 17. DUCTILE IRON PIPE IS REQUIRED GOING "IN TO" AND "OUT OF" ALL FITTINGS.
 18. BOTH TRACER WIRE AND METALLIC UNDERGROUND MARKING TAPE WILL BE REQUIRED FOR ALL AREAS. A TRACER WIRE TERMINAL POST SHALL BE REQUIRED ON ANY WATER OR SEWER THAT DOES NOT HAVE A PERMANENT STRUCTURE THAT CLEARLY INDICATES THE PRESENCE OF AN ASSET. CCW&SA WILL REVIEW THESE LOCATIONS ON A CASE BY CASE BASIS AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE POST LOCATIONS WITH CCW&SA.
 19. THE FIRE DEPARTMENT CONNECTION (FDC) SHOULD BE LOCATED NOT LESS THAN 18" AND NOT MORE THAN 4' ABOVE THE LEVEL OF THE ADJACENT GRADE OR ACCESS LEVEL. POST INDICATOR VALVE OR FIRE HYDRANT SHALL BE NO LESS THAN 40' FROM A BUILDING. NO OBSTRUCTIONS WITHIN 36" OF FIRE HYDRANTS, CONTROL VALVES OR FDC SHALL BE ALLOWED. IMPACT PROTECTION SHALL BE PROVIDED FOR FIRE HYDRANTS SUBJECT TO MOTOR VEHICLE IMPACT. REF. NO. NFPA-24-7.3.3.

NOTE:

- INSTALL A MINIMUM OF 36 LF OF DIP AT ALL STORM CROSSINGS & PARALLEL TO ALL STORM LINES.
- ALL WATER LINES CROSSING UNDER PAVEMENT SHALL BE 8" DIP IN 16" STEEL CASING WITH FIELD LOCK GASKETS WITH SS CASING SPACERS.
- WATER MAINS ARE TO BE INSTALLED AT 10' BOC WITH HYDRANTS SET BEYOND WATER MAIN.



COWETA COUNTY WATER AND SEWERAGE AUTHORITY
 545 COUTH ROAD
 NEWNAN, GA 30259
 (770) 254-3710

U-0002

DESIGNED: CCW&SA DATE: 07/24
 DRAWN: JKP SCALE: NTS



**CIVIL ENGINEERING
 LANDSCAPE ARCHITECTURE
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DAY DESIGN GROUP, Inc.

WATER DISTRIBUTION PLAN FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOCATED IN LAND LOTS 151-152
 1ST DISTRICT - COMETA COUNTY, GEORGIA

NO.	DATE	REVISIONS PER COUNTY COMMENTS	DESCRIPTION
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5	11/22/23	REVISIONS PER COUNTY COMMENTS	
4	06/12/23	REVISIONS PER RIMLEY HORN COMMENTS	
3	05/08/23	REVISIONS PER COUNTY COMMENTS	
2	01/27/23	REVISIONS PER COUNTY COMMENTS	
1	07/07/22	INITIAL DATE OF PLANS	

DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET OF
14A 25

APPROVED
CONST-22-000042
3/19/2024



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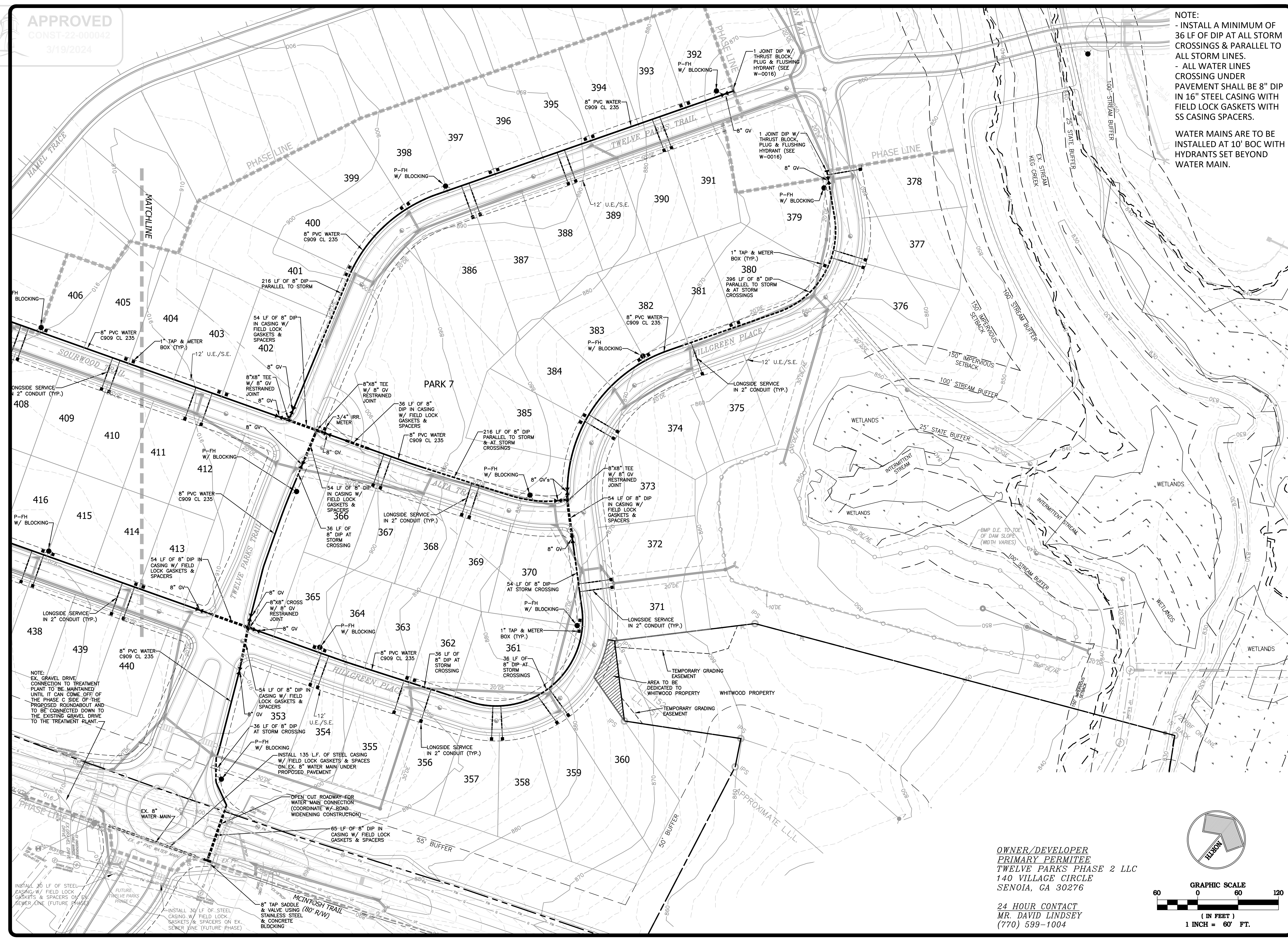
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DRAWN BY: GMD
JOB NO.: 07-110

SHEET **14B** OF **25**

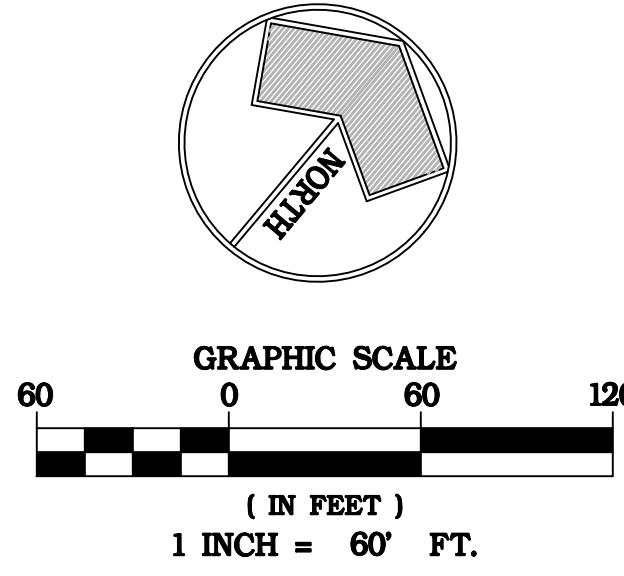
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WATER MAINS ARE TO BE INSTALLED AT 10' BOC WITH HYDRANTS SET BEYOND WATER MAIN.



OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276

24 HOUR CONTACT
MR. DAVID LINDSEY
(770) 599-1004



NOTE:
EX. GRAVEL DRIVE CONNECTION TO TREATMENT PLANT TO BE MAINTAINED UNTIL IT CAN COME OFF OF THE PHASE C SIDE OF THE PROPOSED ROUNDABOUT AND TO BE CONNECTED DOWN TO THE EXISTING GRAVEL DRIVE TO THE TREATMENT PLANT.

INSTALL 30 LF OF STEEL CASING W/ FIELD LOCK GASKETS & SPACERS ON EX. SEWER LINE (FUTURE PHASE)

INSTALL 30 LF OF STEEL CASING W/ FIELD LOCK GASKETS & SPACERS ON EX. SEWER LINE (FUTURE PHASE)

INSTALL 30 LF OF STEEL CASING W/ FIELD LOCK GASKETS & SPACERS ON EX. SEWER LINE (FUTURE PHASE)

INSTALL 135 LF OF STEEL CASING W/ FIELD LOCK GASKETS & SPACERS ON EX. 8" WATER MAIN UNDER PROPOSED PAVEMENT

INSTALL 8" TAP SADDLE & VALVE USING STAINLESS STEEL & CONCRETE BLOCKING

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TREE PROTECTION FENCING FOR ACTIVE AND PASSIVE TREE PROTECTION: (PER ORDINANCE SEC. 253.A)

A. ACTIVE PROTECTIVE BARRIERS. BARRIERS SHALL BE INSTALLED ALONG THE OUTER EDGE OF AND COMPLETELY AROUND THE CRITICAL ROOT ZONES OF ALL SPECIMEN TREES OR STANDS OF TREES, OR OTHERWISE DESIGNATED TREE PROTECTIVE ZONES, PRIOR TO ANY LAND DISTURBANCE. DEVIATIONS FROM THIS MUST BE APPROVED ON AN INDIVIDUAL BASIS BY THE COUNTY ARBORIST/LANDSCAPE ARCHITECT. BARRIERS WILL BE A MINIMUM FOUR FEET HIGH. USE OF ANY ONE OF THE FOLLOWING THREE OPTIONS IS ACCEPTABLE:

OPTION ONE: A POST AND RAIL CONFIGURATION USING A TWO-INCH BY FOUR-INCH POST AND A ONE-INCH BY FOUR-INCH RAIL, WITH THE POST NO FURTHER THAN SIX FEET APART (RECOMMENDED);

OPTION TWO: CHAIN-LINK FENCE WITH THE SAME POST SPACING;

OPTION THREE: ORANGE SAFETY OR VISUAL BARRIER FENCE SECURELY ATTACHED TO HOG WIRE AND MOUNTED ON STEEL POSTS, SAME POST SPACING.

ALL TREE PROTECTION ZONES SHOULD BE DESIGNATED AS SUCH WITH "TREE SAVE AREA" SIGNS POSTED VISIBLY ON ALL SIDES OF THE FENCED-IN AREA. ALL TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE LAND DISTURBANCE AND BUILDING CONSTRUCTION, AND SHOULD NOT BE REMOVED UNTIL ALL CONSTRUCTION AND LANDSCAPING IS COMPLETE.

B. PASSIVE PROTECTIVE BARRIERS. TREE SAVE AREAS AND THEIR CRITICAL ROOT ZONES NOT WITHIN 60 FEET OF ANY GRADING, STORAGE, CONSTRUCTION OR TRAFFIC AREAS MAY BE PROTECTED BY FOUR-FOOT ORANGE LAMINATED PLASTIC SAFETY FENCING. PASSIVE TREE PROTECTION FENCING IS TO BE USED ONLY FOR AREAS REMOTE FROM CONSTRUCTION ACTIVITY.

ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE, AND THE COUNTY ARBORIST/LANDSCAPE ARCHITECT SHALL BE CONTACTED FOR A PRE-CONSTRUCTION CONFERENCE PRIOR TO ANY LAND DISTURBANCE.

CONTACT THE COWETA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT (770) 254-2635 TO ARRANGE A RE-CONSTRUCTION CONFERENCE WITH THE COUNTY ARBORIST/LANDSCAPE ARCHITECT PRIOR TO ANY LAND DISTURBANCE.

ALL TREE PROTECTION MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. CALL THE COWETA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT AT (770) 254-2635 FOR AN INSPECTION BY THE COUNTY ARBORIST/LANDSCAPE ARCHITECT.

NO PARKING, STORAGE, OR ANY OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.

A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR TREE PRESERVATION ORDINANCE COMPLIANCE.

SINGLE FAMILY RESIDENTIAL DEVELOPMENT REQUIRED TO PROVIDE OPEN SPACE SHALL RETAIN FIFTY PERCENT (50%) OF ALL TREES LOCATED IN THE REQUIRED OPEN SPACE AREA OF THE DEVELOPMENT; AND SHALL MAINTAIN OR EXCEED 12 CALIPER INCHES PER LOT ON ALL RESIDENTIAL LOTS. THE MINIMUM SIZE FOR NEW TREES USED TO MEET THIS REQUIREMENT SHALL BE 2 CALIPER INCHES.

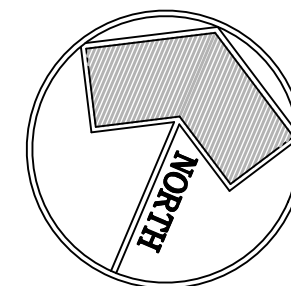
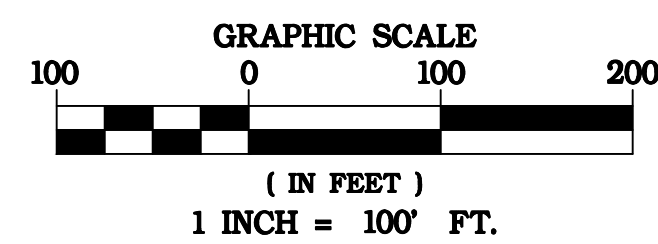
INDIVIDUAL SINGLE FAMILY LOTS, WITHIN PLATTED RESIDENTIAL SUBDIVISIONS HAVING A MINIMUM STREET FRONTAGE REQUIREMENT OF 135 OR LESS ARE REQUIRED TO PRESERVE TWO (2) DECIDUOUS CANOPY SPECIMEN TREES. WHEN PRESERVATION OF SPECIMEN TREES IS NOT ACHIEVED BECAUSE TWO QUALIFYING TREES ARE NOT PRESENT ON THE LOT, THEN 2 INCH (OR LARGER) CALIPER DECIDUOUS CANOPY TREES SHALL BE PLANTED UNTIL THE TOTAL OF 12 CALIPER INCHES PER LOT IS ACHIEVED. FIFTY (50) PERCENT OF THE REQUIRED PLANTING SHALL BE PLACED IN THE FRONT YARD. ALL RESIDENTIAL LOTS SHALL REQUIRE THAT IMPROVEMENTS BE LOCATED SO AS TO PROVIDE MINIMUM DISTURBANCE TO THE NATURAL TOPOGRAPHY OF THE SITE AND PROTECTION TO THE MAXIMUM NUMBER OF TREES.

NOTE: TREE PROTECTION SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE.

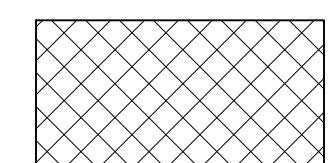
**OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276**

**24 HOUR CONTACT
MR. DAVID LINDSEY
(770) 599-1004**

**NOTE:
A BUFFER EVALUATION
WILL BE NEEDED AND
ADDITIONAL PLANTING
MAY BE REQUIRED PRIOR
TO FINAL PLAT
APPROVAL.**

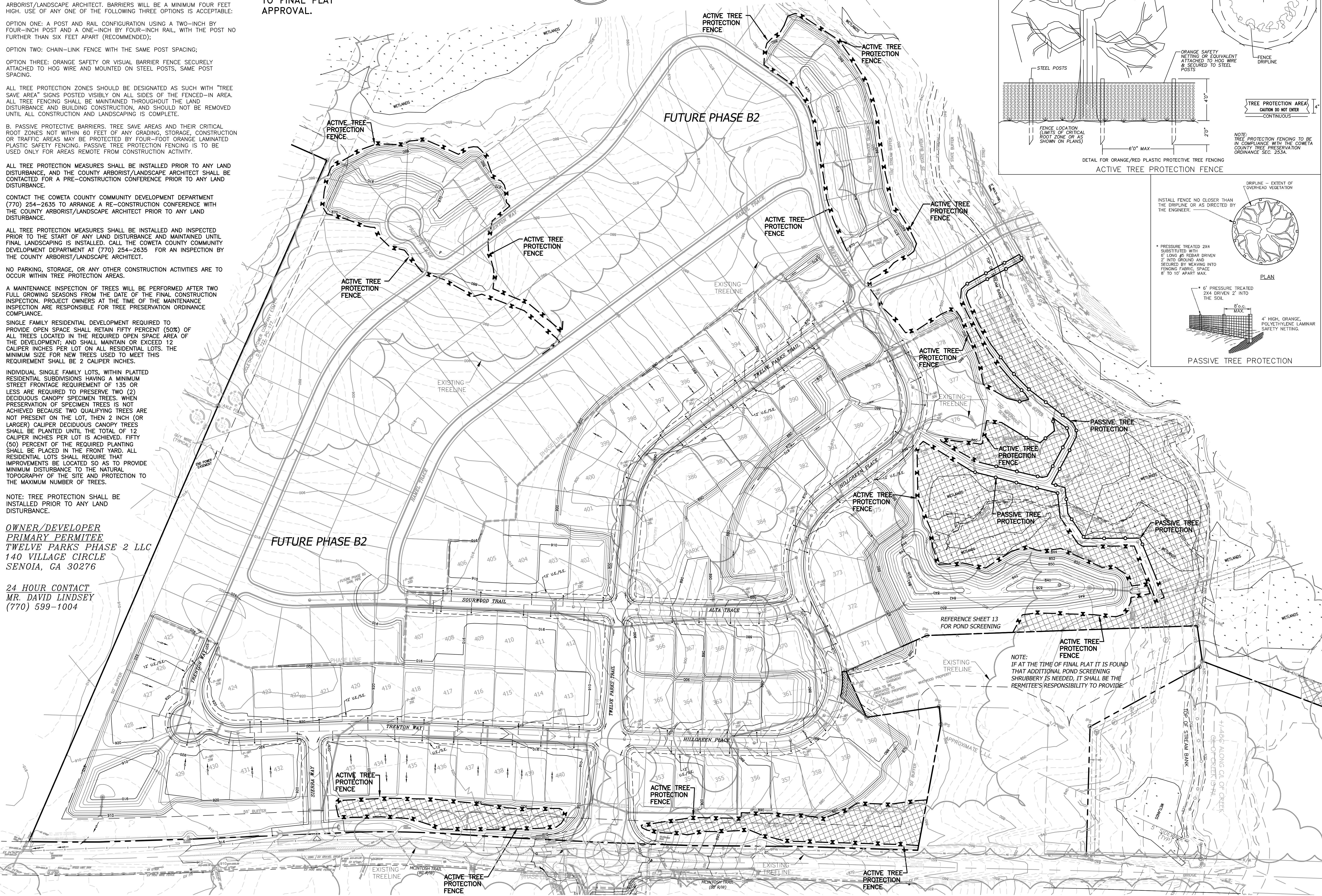
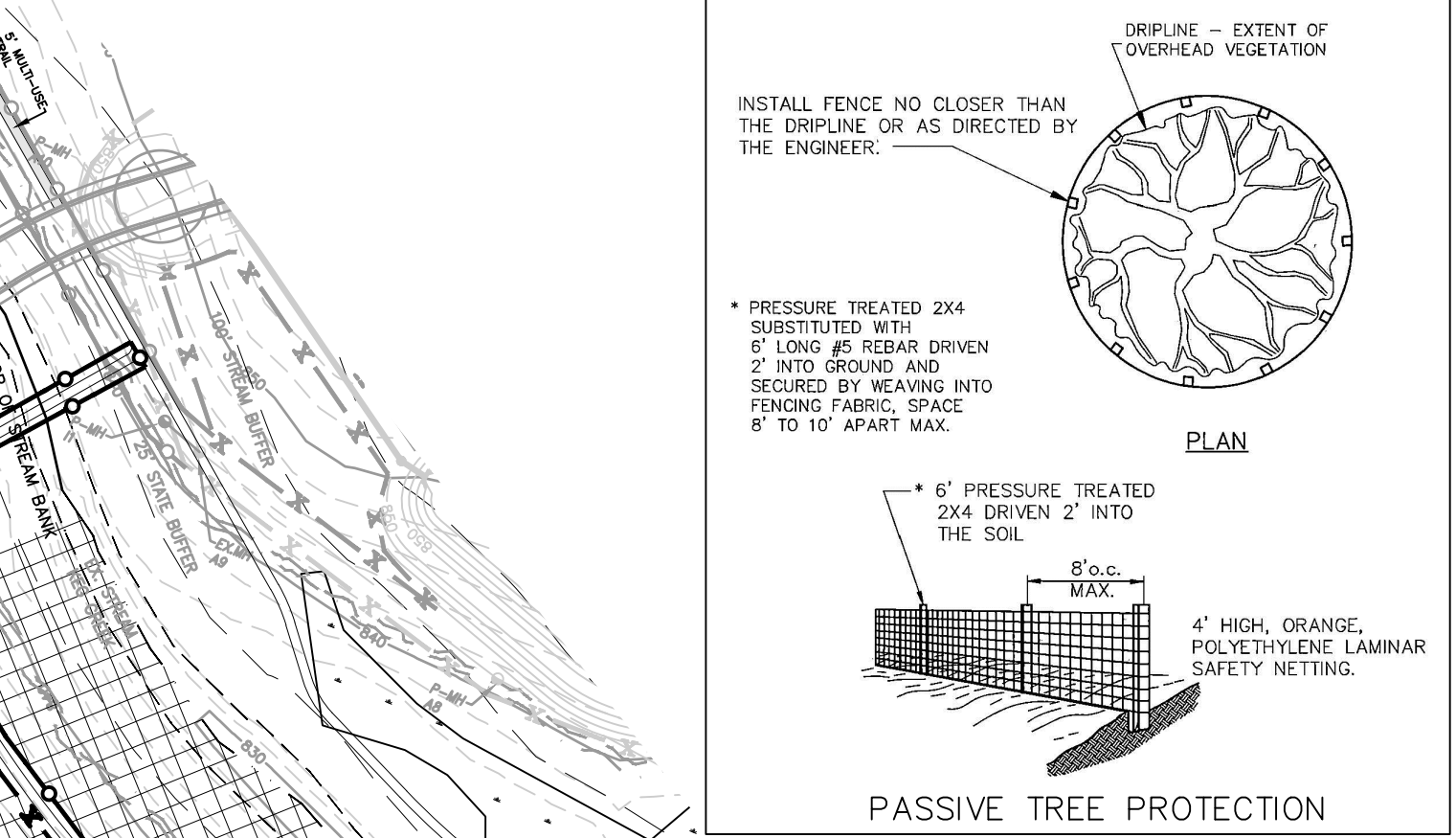
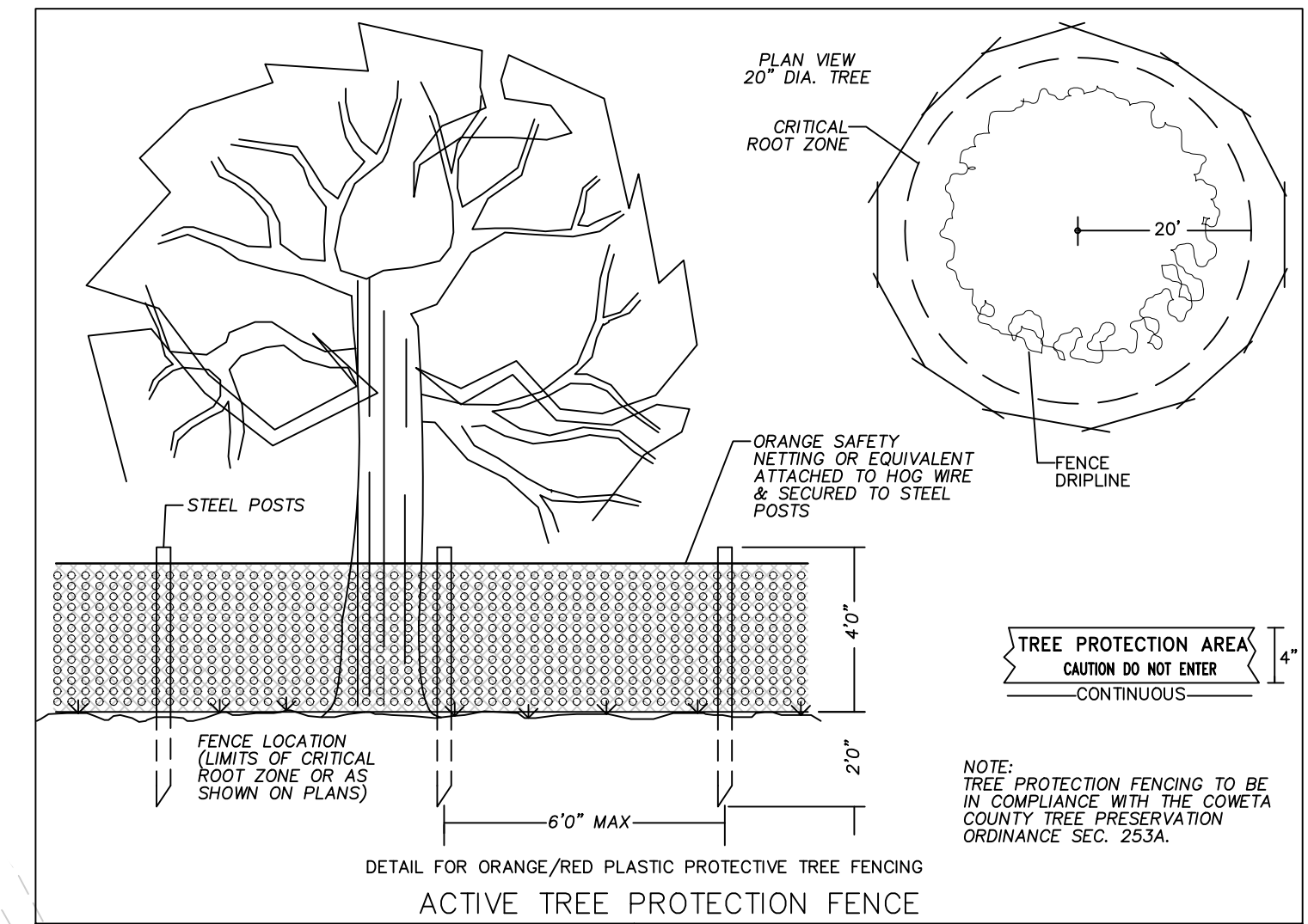


TREE SAVE AREA



PASSIVE TREE PROTECTION BARRIERS

ACTIVE TREE PROTECTION BARRIERS



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TREE PROTECTION PLAN
FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COWETA COUNTY, GEORGIA

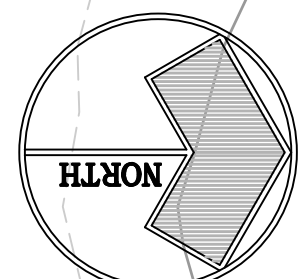
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DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET OF
15 25

APPROVED

FUTURE PHASE BUFFER (SCREENING TO BE PROVIDED ON FUTURE PHASE PLANS)



1 INCH = 30 FT.

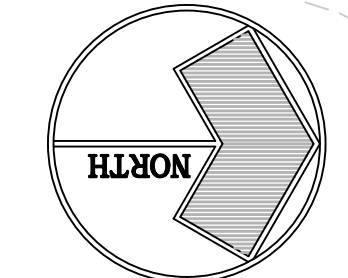
FUTURE PHASE BUFFER EASEMENT ON BACK OF LOTS OUTSIDE OF POWER EASEMENT (SCREENING TO BE PROVIDED ON FUTURE PHASE PLANS)

FUTURE PHASE BUFFER EASEMENT ON BACK OF LOTS OUTSIDE OF POWER EASEMENT (SCREENING TO BE PROVIDED ON FUTURE PHASE PLANS)

25' BUFFER EASEMENT

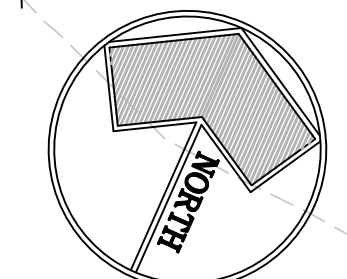
FUTURE PHASE BUFFER (SCREENING TO BE PROVIDED ON FUTURE PHASE PLANS)

50' BUFFER



1 INCH = 30 FT.

REFERENCE SHEET 13A DETENTION POND B1.4 LANDSCAPE PLAN FOR PLANTINGS IN THIS AREA OF THE BUFFER






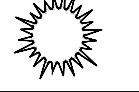
1 INCH = 30 FT.

55' BUFFER

ACTIVE TREE PROTECTION FENCE

NOTE: A BUFFER EVALUATION WILL BE NEEDED AND ADDITIONAL PLANTING MAY BE REQUIRED PRIOR TO FINAL PLAT APPROVAL.

NOTE: REFERENCE SHEET 16A BUFFER PLANTING SCHEDULE FOR MATERIAL QUANTITIES & ADDITIONAL INFORMATION.

-  LITTLE GEM MAGNOLIA
-  CRIPPSII CYPRESS
-  ENGLISH LAUREL
-  GREEN GIANT ARBORVITAE



OWNER/DEVELOPER
PRIMARY PERMITEE
TWELVE PARKS PHASE 2 LLC
140 VILLAGE CIRCLE
SENOIA, GA 30276

24 HOUR CONTACT
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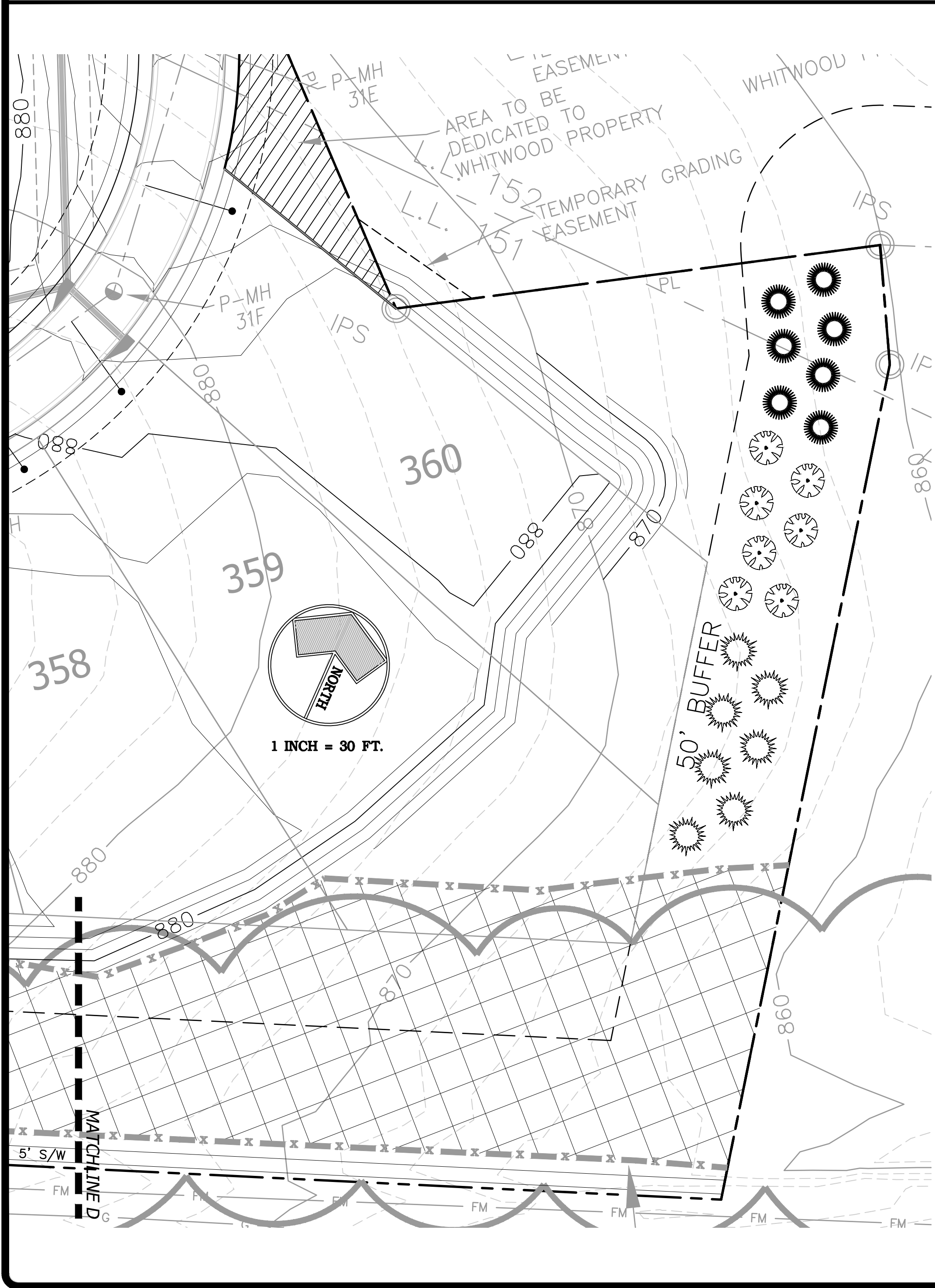
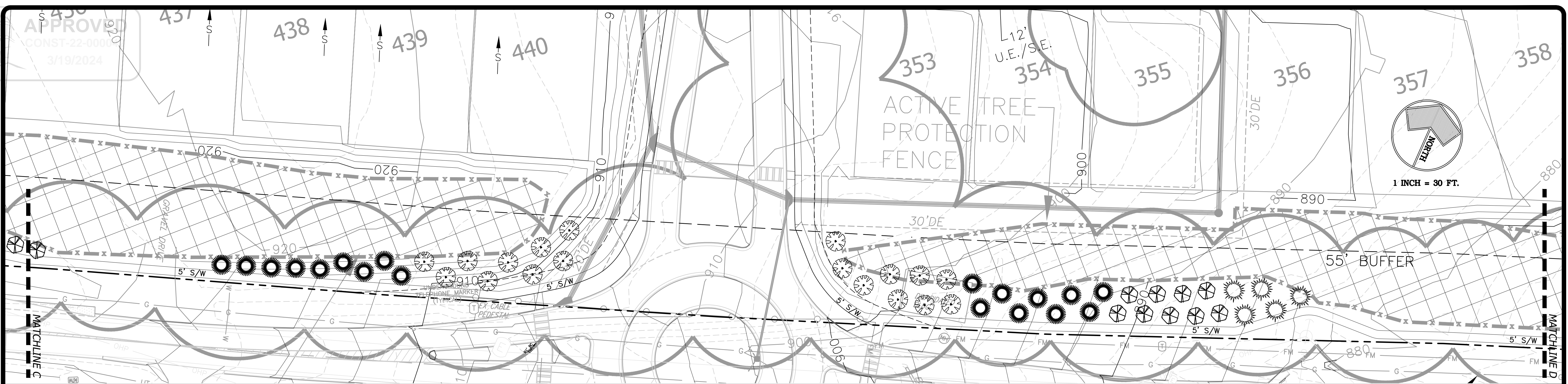
DAY
DESIGN
GROUP, Inc.

FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
1ST DISTRICT - LAND LOTS 151-152
COMETA COUNTY, GEORGIA

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SHEET 16 OF 25



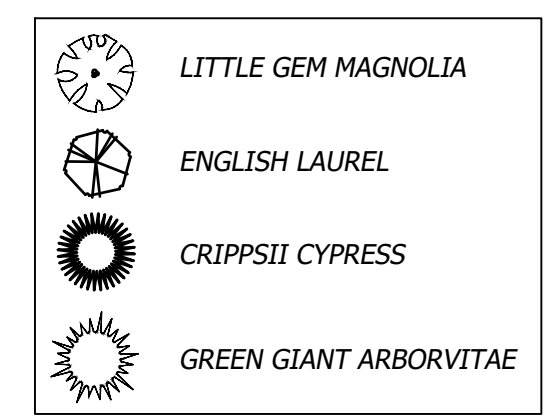
Additional buffer plantings may be required prior to Final Plat approval as determined by the County Arborist

BUFFER PLANTING PLAN

PLANT SCHEDULE FOR CONVENIENCE PURPOSES ONLY - ALL QUANTITIES TO BE VERIFIED BY CONTRACTOR.

BOTANICAL NAME	COMMON NAME	SIZE	MIN. HEIGHT	QTY.	ROOT	REMARKS
CHAMECYPARIS obtusa 'CRIPPSII'	CRIPPSII HINOKI CYPRESS	15 GALLON	6' MIN HEIGHT	59	CONT	FULL WELL FORMED SPECIMEN
MAGNOLIA grandiflora 'LITTLE GEM'	LITTLE GEM MAGNOLIA	15 GALLON	6' MIN HEIGHT	75	CONT	FULL, WELL BRANCHED
PRUNUS laurocerasus	ENGLISH LAUREL	7 GALLON	5' MIN HEIGHT	69	CONT	FULL, WELL FORMED
THUJA plicata 'GREEN GIANT'	GREEN GIANT ARBORVITAE	15 GALLON	6' MIN HEIGHT	41	CONT	FULL, DENSE SPECIMEN

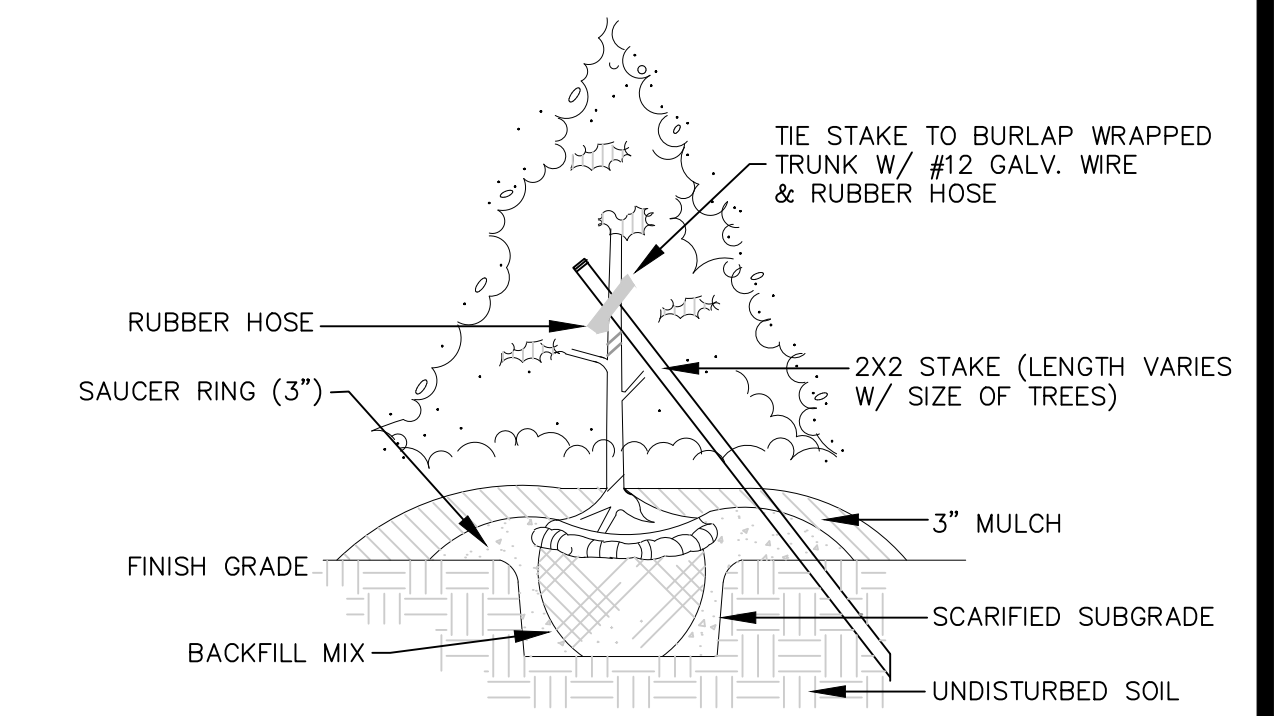
IF 6' HEIGHT CAN NOT BE OBTAINED WITH CONTAINER SIZE SPECIFIED, CONTRACTOR TO USE LARGER SIZE TO ENSURE 6' MATERIAL HEIGHT



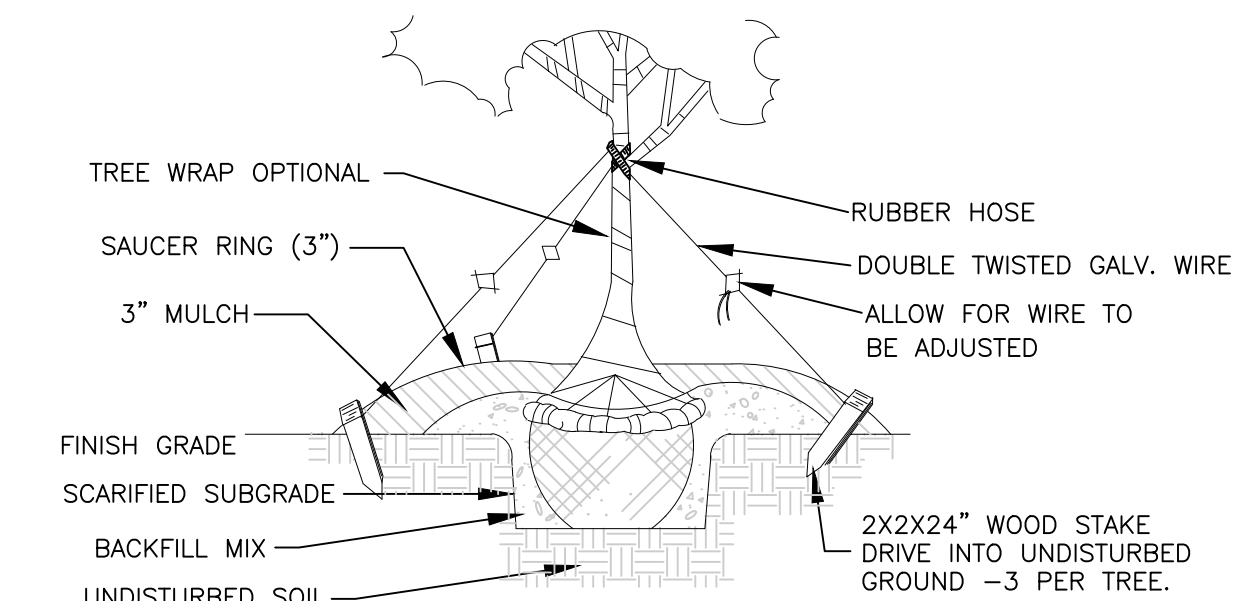
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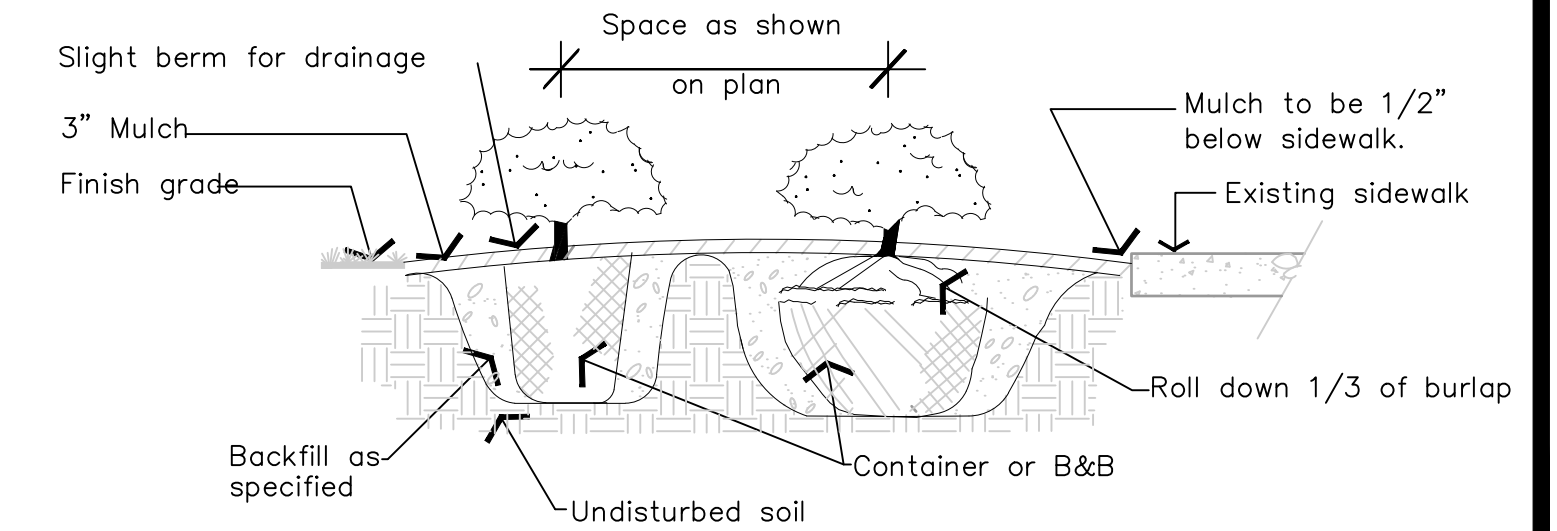
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SLASH STAKING DETAIL FOR EVERGREEN AND MULTI-TRUNK TREE



LARGE TREE PLANTING/GUYING DETAIL



SHRUB/GROUNDCOVER PLANTING DETAIL



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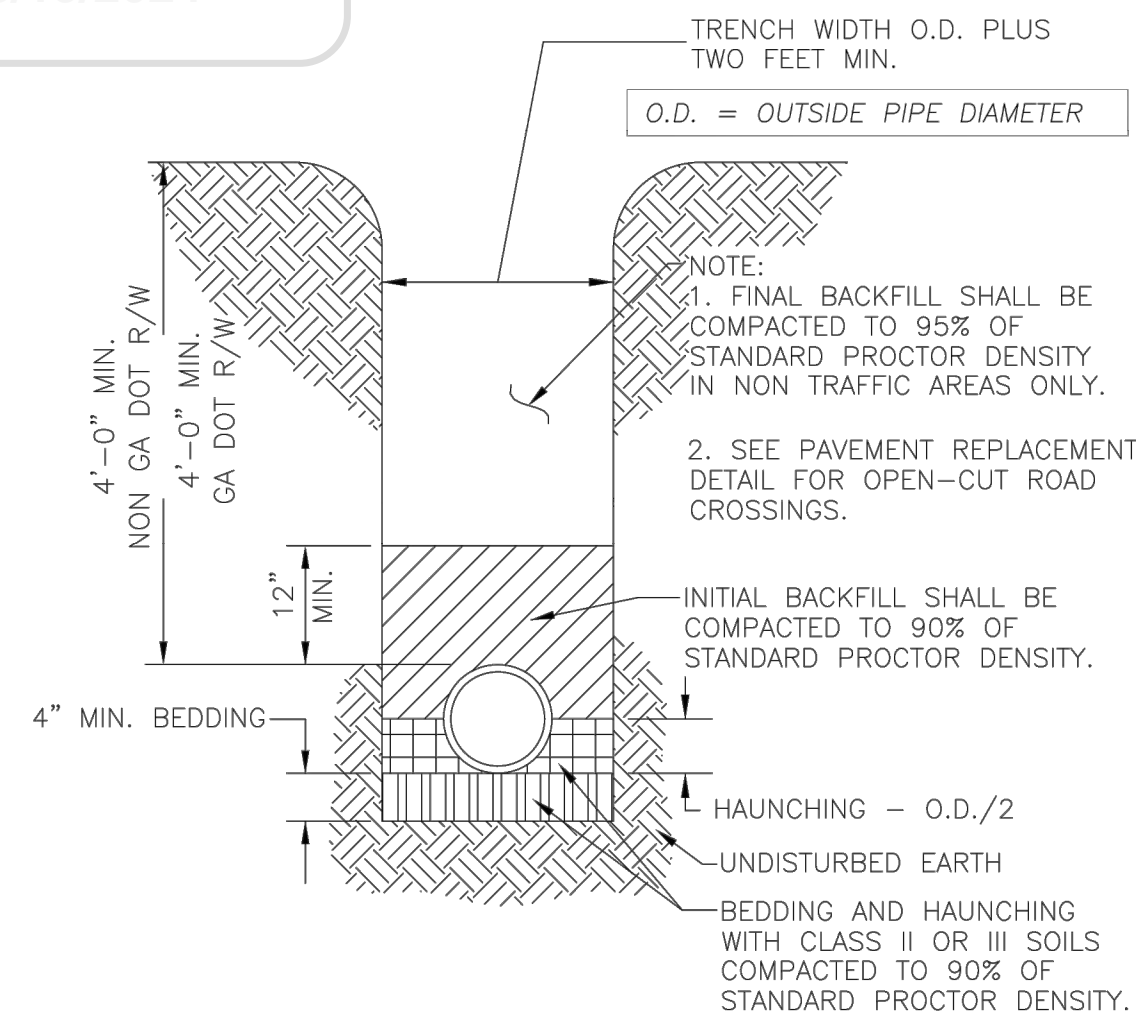
DAY
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 GROUP, Inc.

BUFFER PLANTING PLAN
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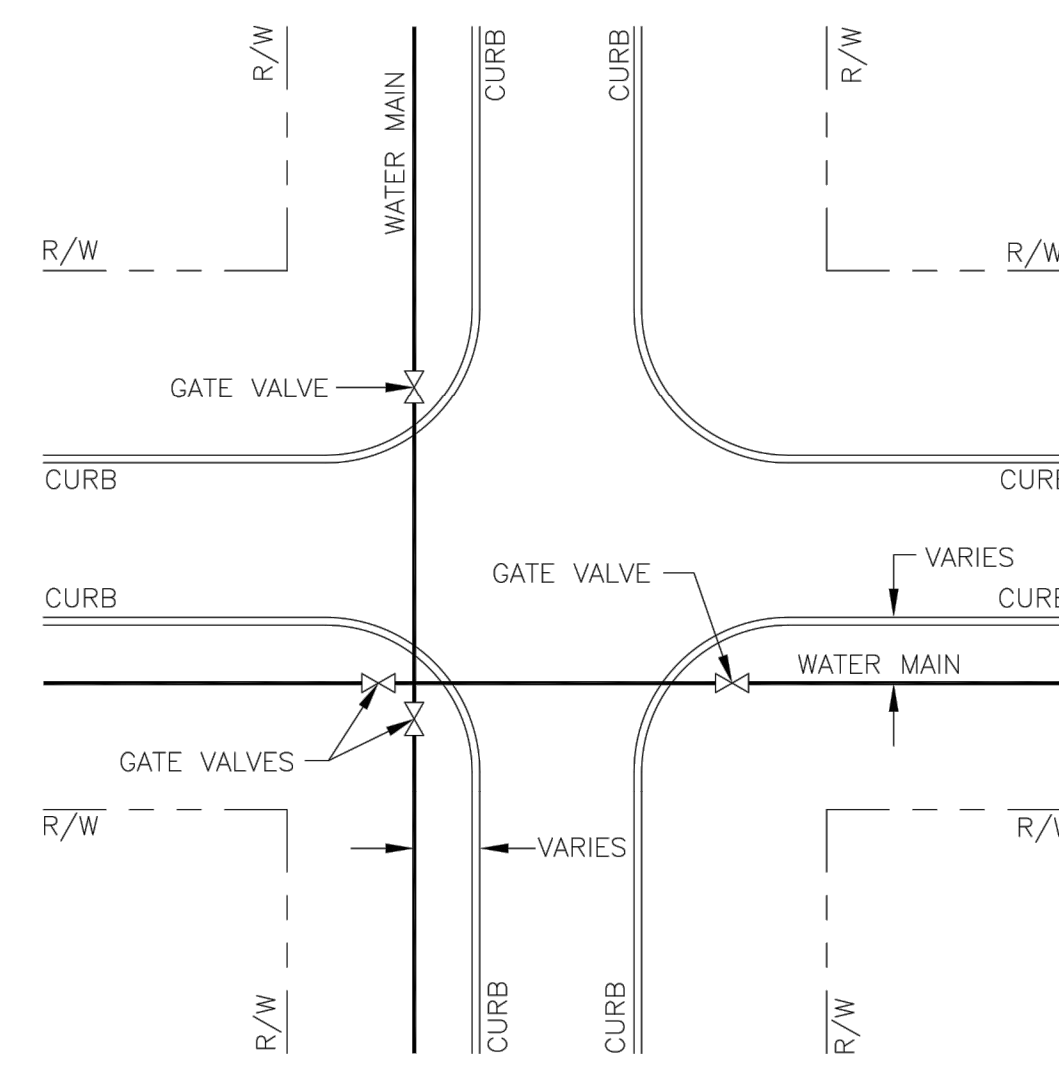
DATE: 04/10/23
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APPROVED
CONST-22-000042
3/19/2024



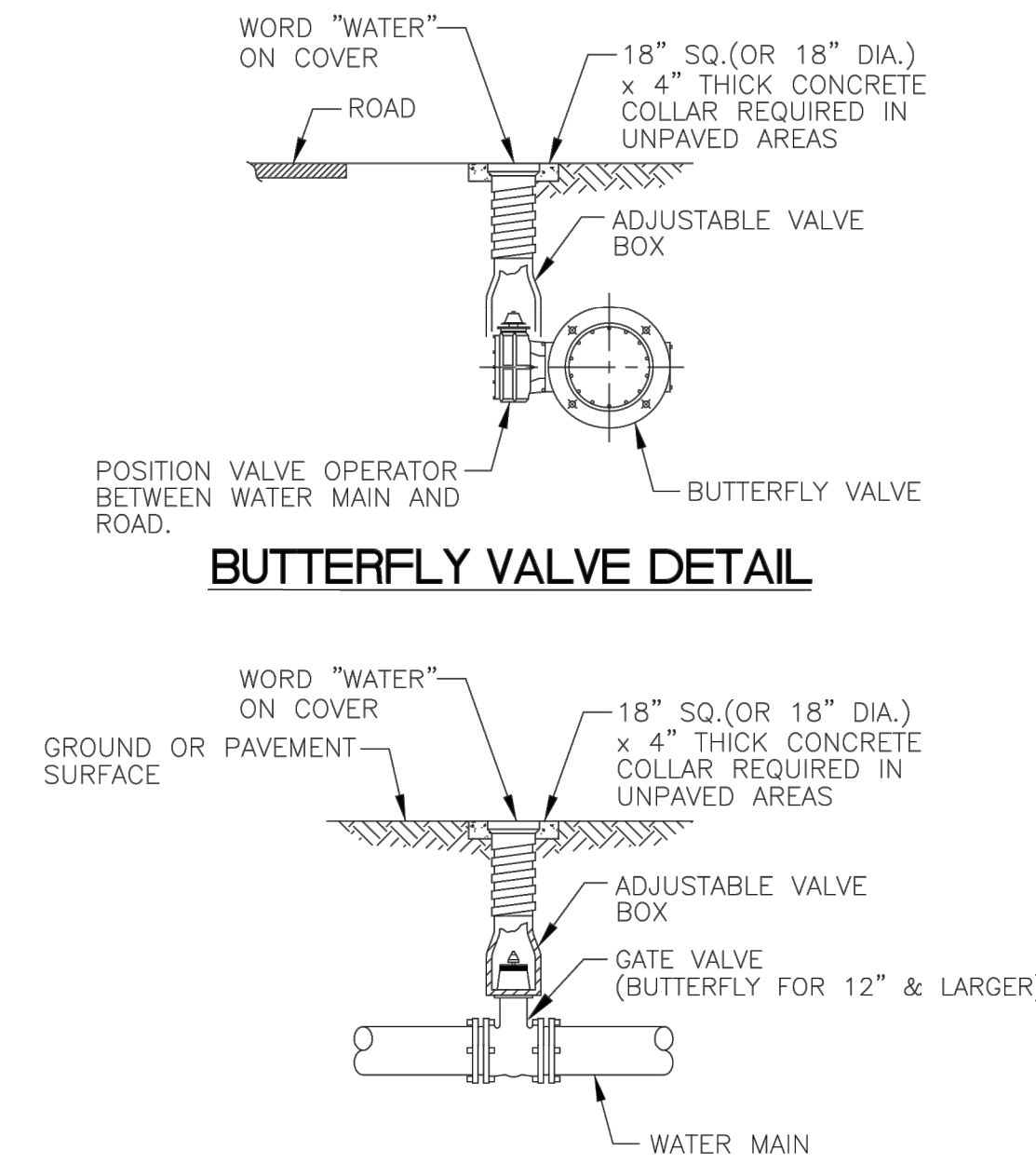
PRESSURE PIPE BEDDING

N.T.S.



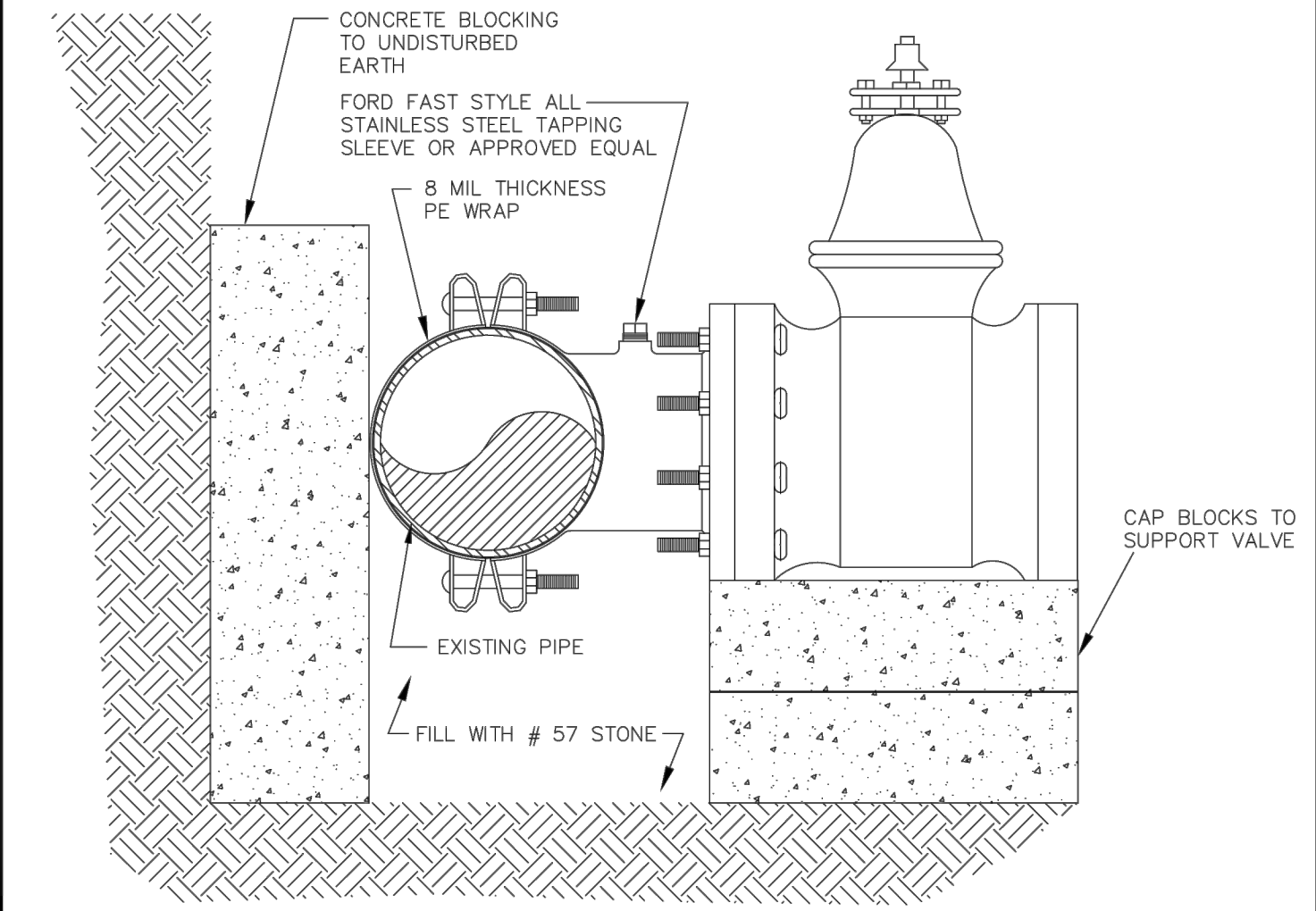
WATER MAIN VALVING AT INTERSECTION

N.T.S.



VALVE INSTALLATION

N.T.S.



WATER MAIN VALVE TAPPING SLEEVE

N.T.S.

COWETA COUNTY WATER AND SEWERAGE AUTHORITY
545 CORINTH ROAD
NEWNAN, GA 30263
(770) 254-3710

W-0002

DESIGNED: CCWSA
DRAWN: JKP
DATE: 07/04
SCALE: N.T.S.

COWETA COUNTY WATER AND SEWERAGE AUTHORITY
545 CORINTH ROAD
NEWNAN, GA 30263
(770) 254-3710

W-0003

DESIGNED: CCWSA
DRAWN: JKP
DATE: 07/04
SCALE: N.T.S.

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545 CORINTH ROAD
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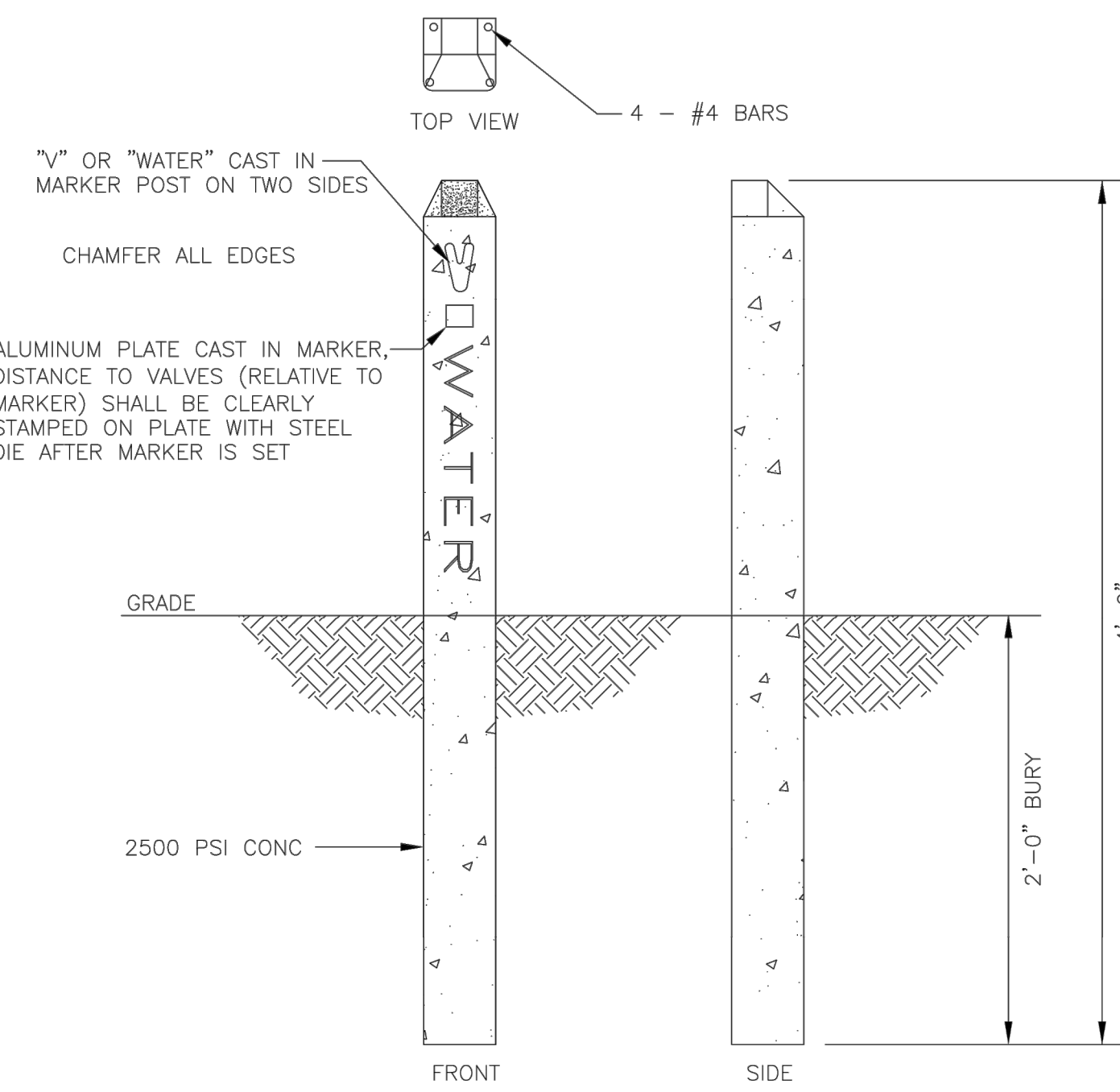
W-0005

DESIGNED: CCWSA
DRAWN: JKP
DATE: 07/04
SCALE: N.T.S.

COWETA COUNTY WATER AND SEWERAGE AUTHORITY
545 CORINTH ROAD
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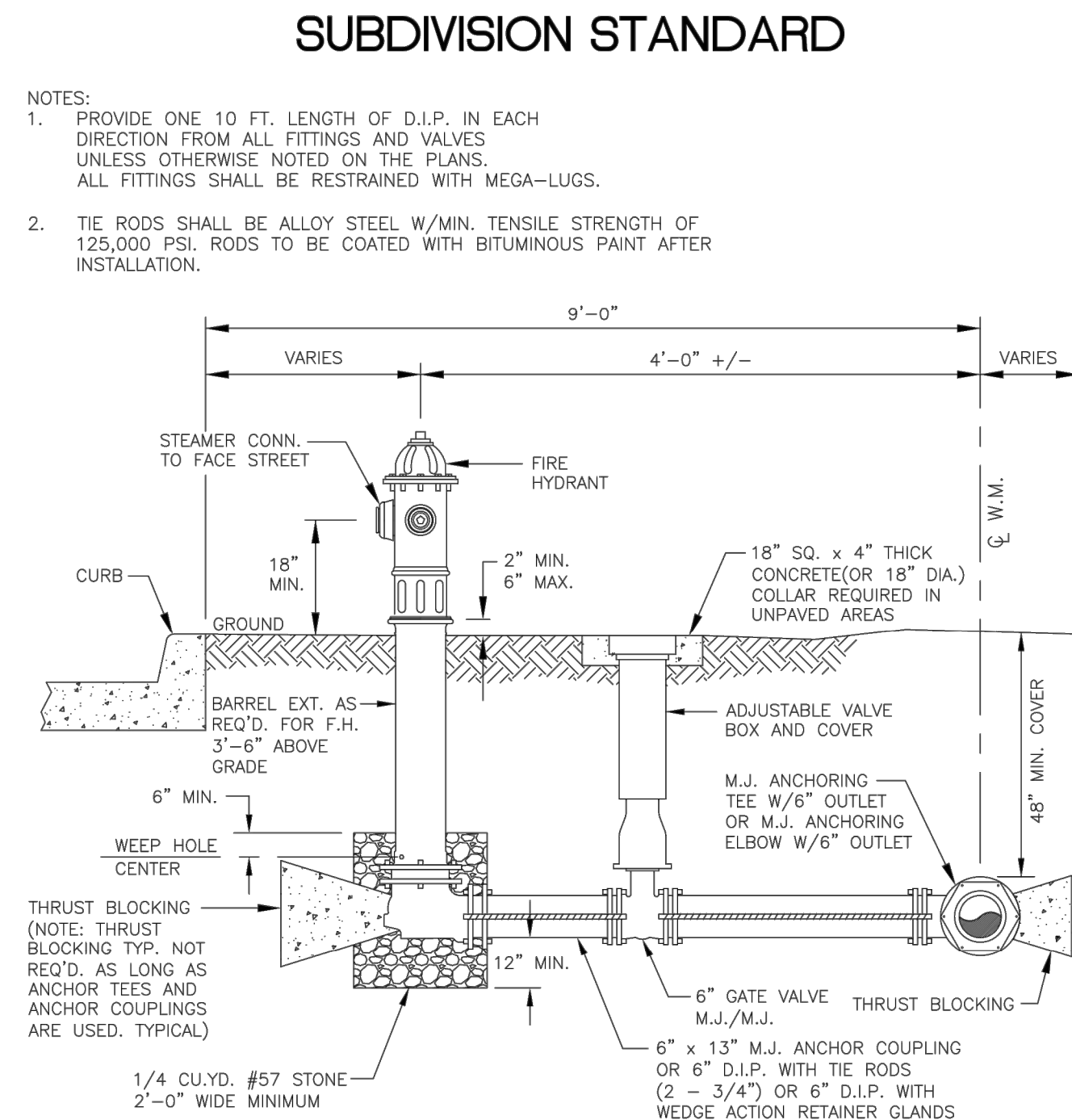
W-0007

DESIGNED: CCWSA
DRAWN: GMD
DATE: 02/17
SCALE: N.T.S.



CONCRETE VALVE MARKER

N.T.S.

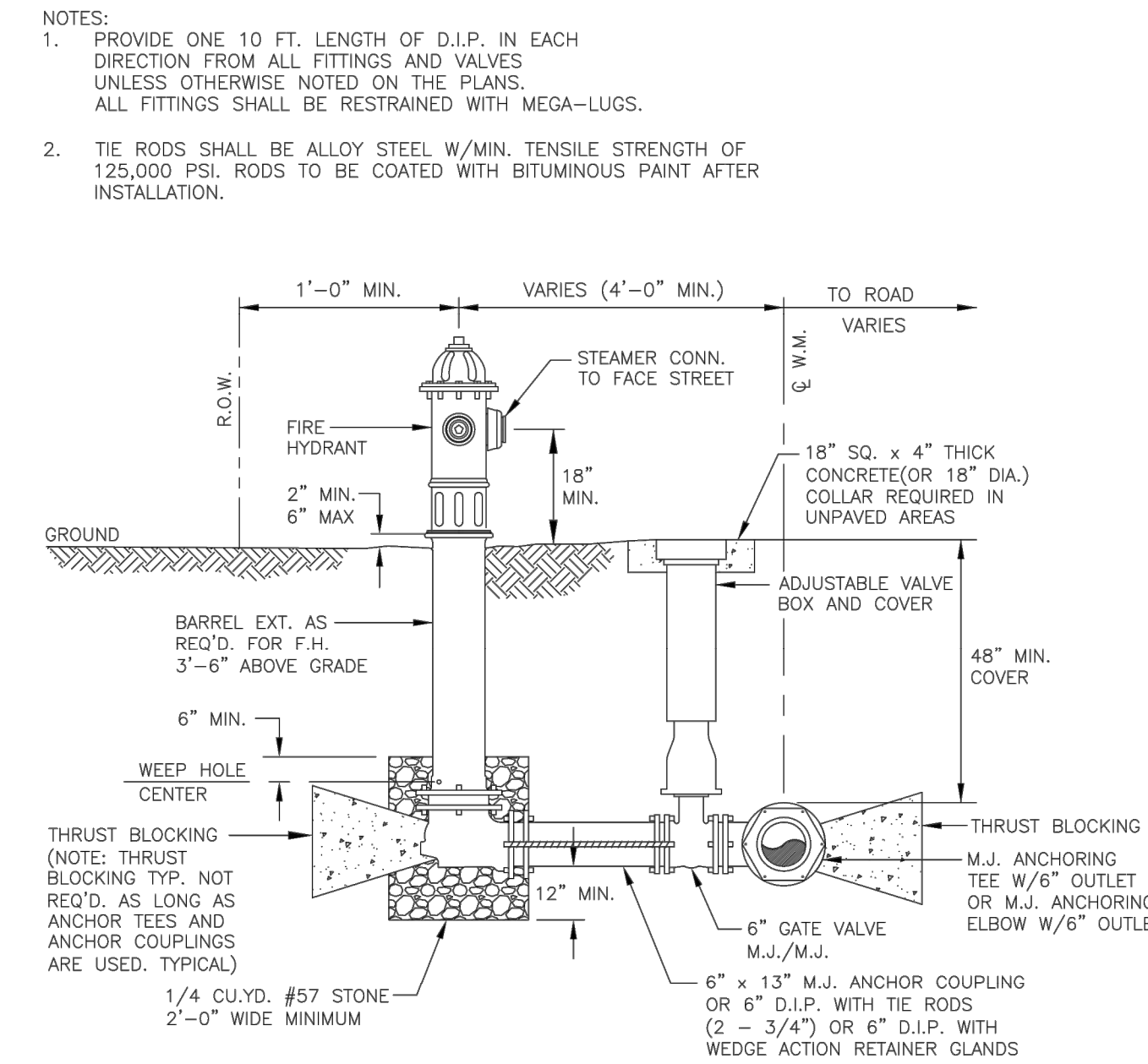


FIRE HYDRANT INSTALLATION

COWETA COUNTY WATER AND SEWERAGE AUTHORITY
545 CORINTH ROAD
NEWNAN, GA 30263
(770) 254-3710

W-0009

DESIGNED: CCWSA
DRAWN: JKP
DATE: 07/04
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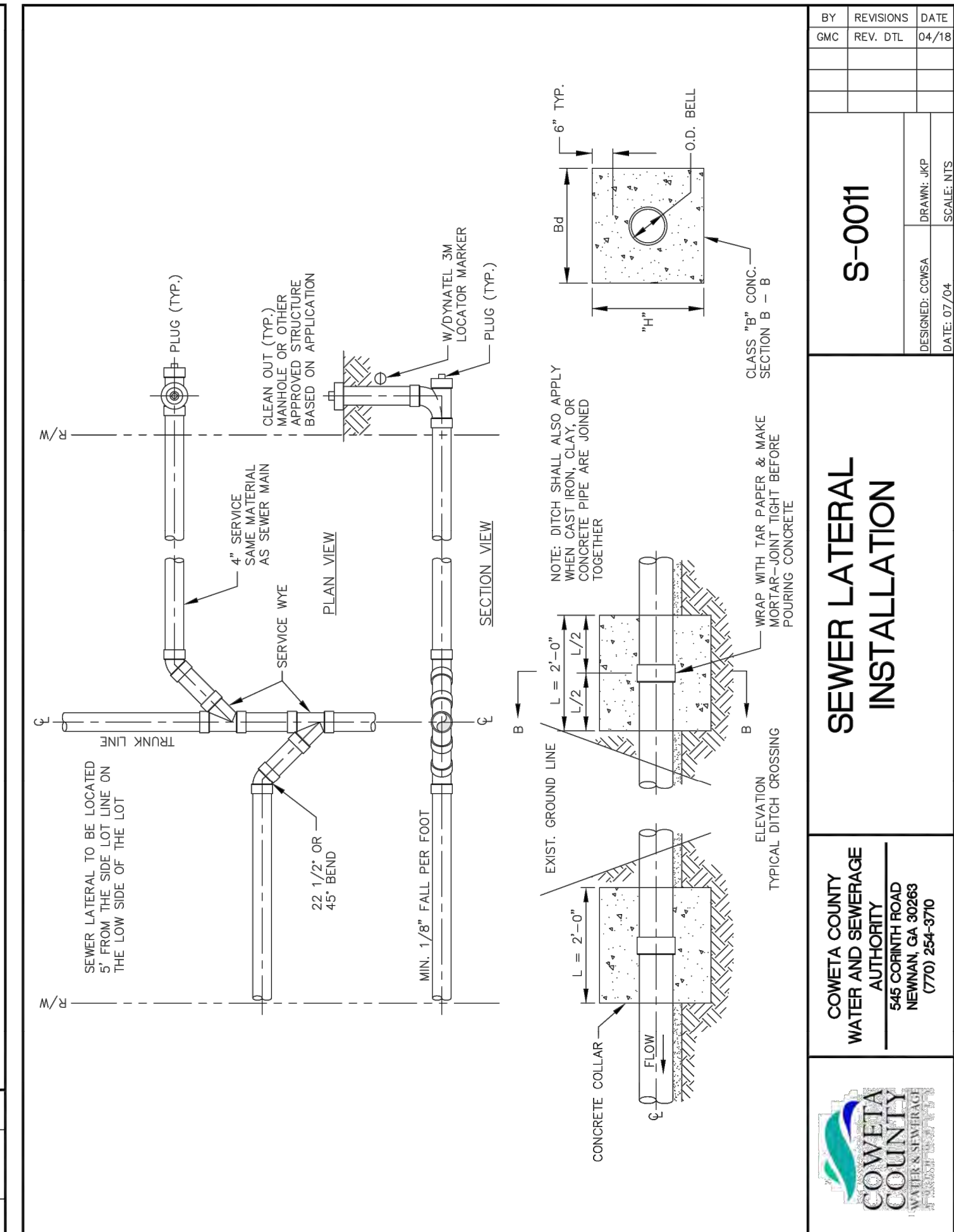
FIRE HYDRANT INSTALLATION

N.T.S.

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W-0010

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DATE: 07/04
SCALE: N.T.S.



SEWER LATERAL INSTALLATION

COWETA COUNTY WATER AND SEWERAGE AUTHORITY
545 CORINTH ROAD
NEWNAN, GA 30263
(770) 254-3710

S-0011

DESIGNED: CCWSA
DRAWN: JKP
DATE: 07/24
SCALE: N.T.S.

COWETA COUNTY WATER AND SEWERAGE AUTHORITY
545 CORINTH ROAD
NEWNAN, GA 30263
(770) 254-3710



CIVIL ENGINEERING
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BUFORD, GA 30515

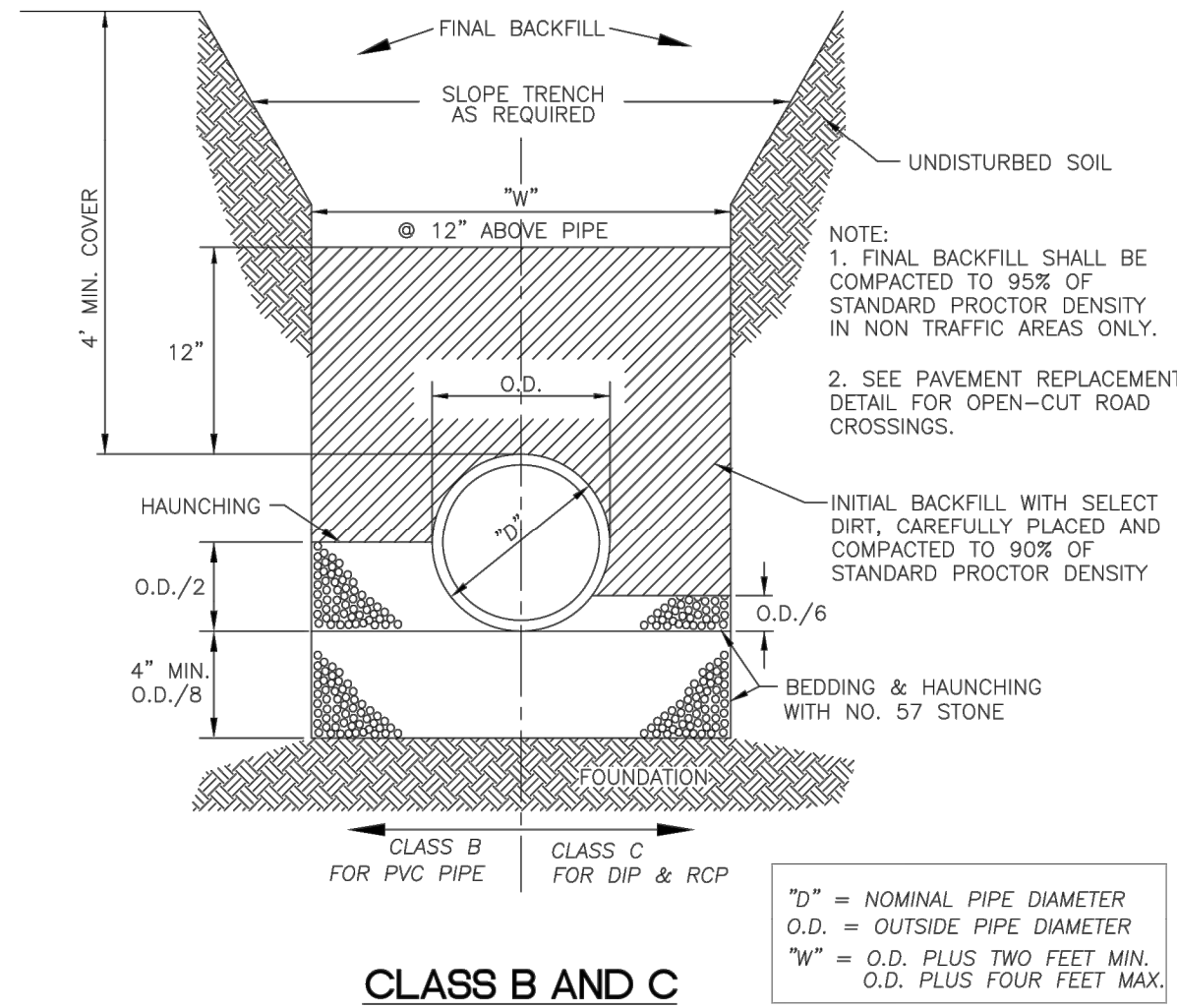
(770) 271-4576 ph.
(770) 369-8568 fax
www.daydesigngroup.com

DAY DESIGN GROUP, Inc.

CONSTRUCTION DETAILS FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN LAND LOTS 151-152
1ST DISTRICT - LAND COUNTY, GEORGIA

NO.	DATE	REVISIONS DESCRIPTION
4	06/12/23	REVISIONS PER COUNTY COMMENTS
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110



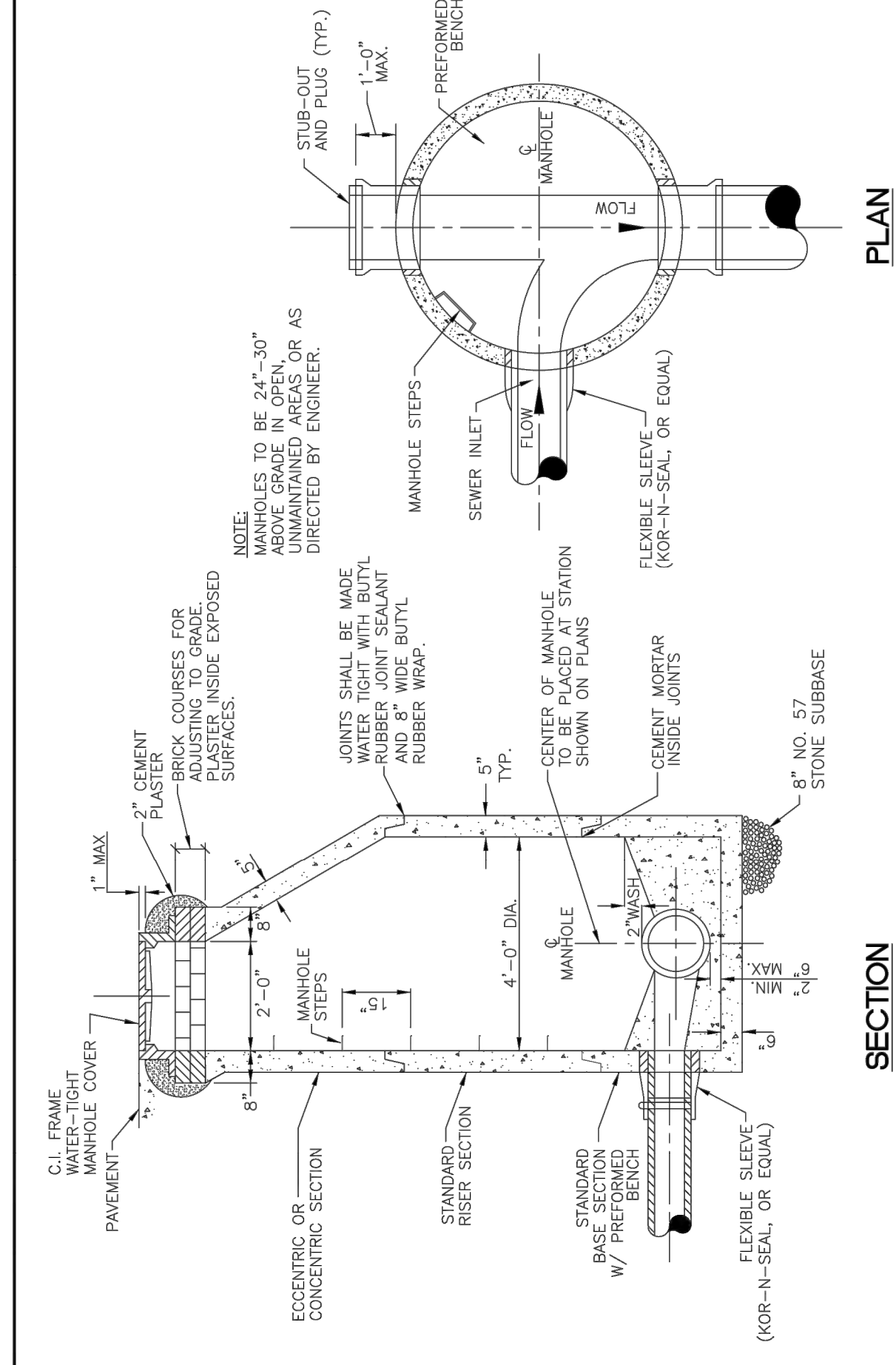
GRAVITY PIPE BEDDING

S-0001

COWETA COUNTY
WATER AND SEWERAGE
AUTHORITY
545 CORNITH ROAD
NEWNAN, GA 30263
(770) 254-3700



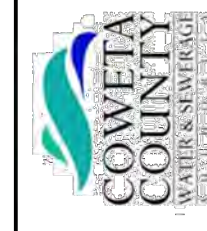
DESIGNED: CCWSA DRAWN: JWP
DATE: 07/04 SCALE: NTS



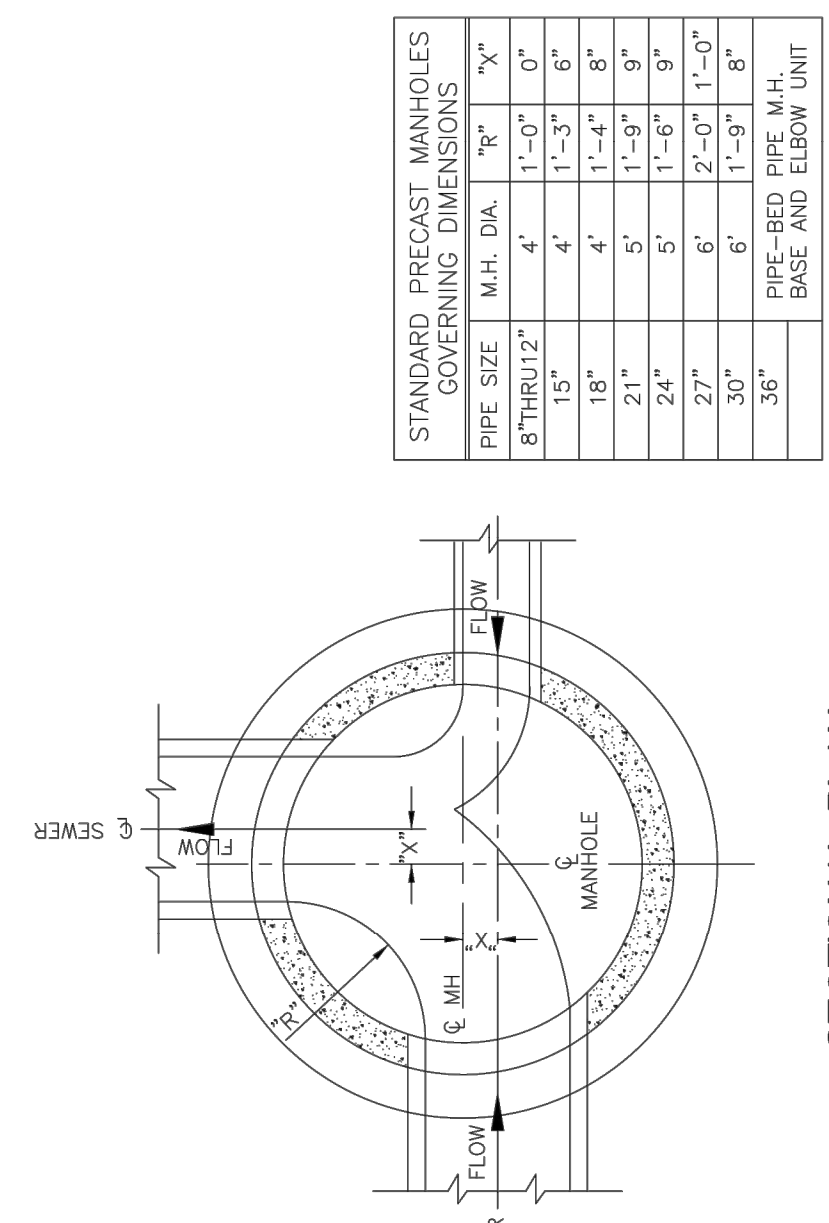
S-0002

STANDARD PRECAST
4'-0" MANHOLE

COWETA COUNTY
WATER AND SEWERAGE
AUTHORITY
545 CORNITH ROAD
NEWNAN, GA 30263
(770) 254-3700



DESIGNED: CCWSA DRAWN: JWP
DATE: 07/04 SCALE: NTS



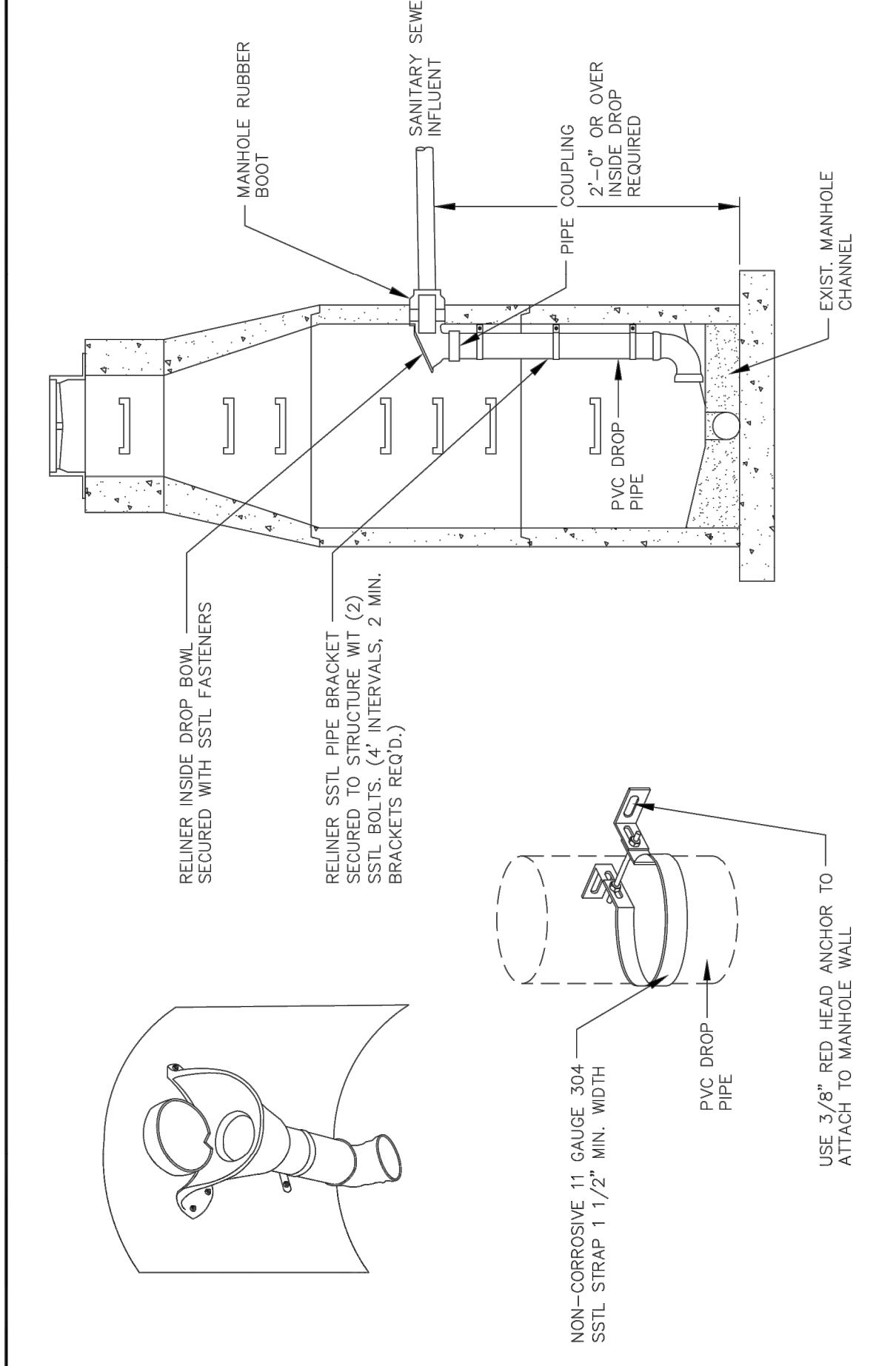
S-0003

GOVERNING DIMENSIONS
FOR PRECAST MANHOLES

COWETA COUNTY
WATER AND SEWERAGE
AUTHORITY
545 CORNITH ROAD
NEWNAN, GA 30263
(770) 254-3700



DESIGNED: CCWSA DRAWN: JWP
DATE: 07/04 SCALE: NTS



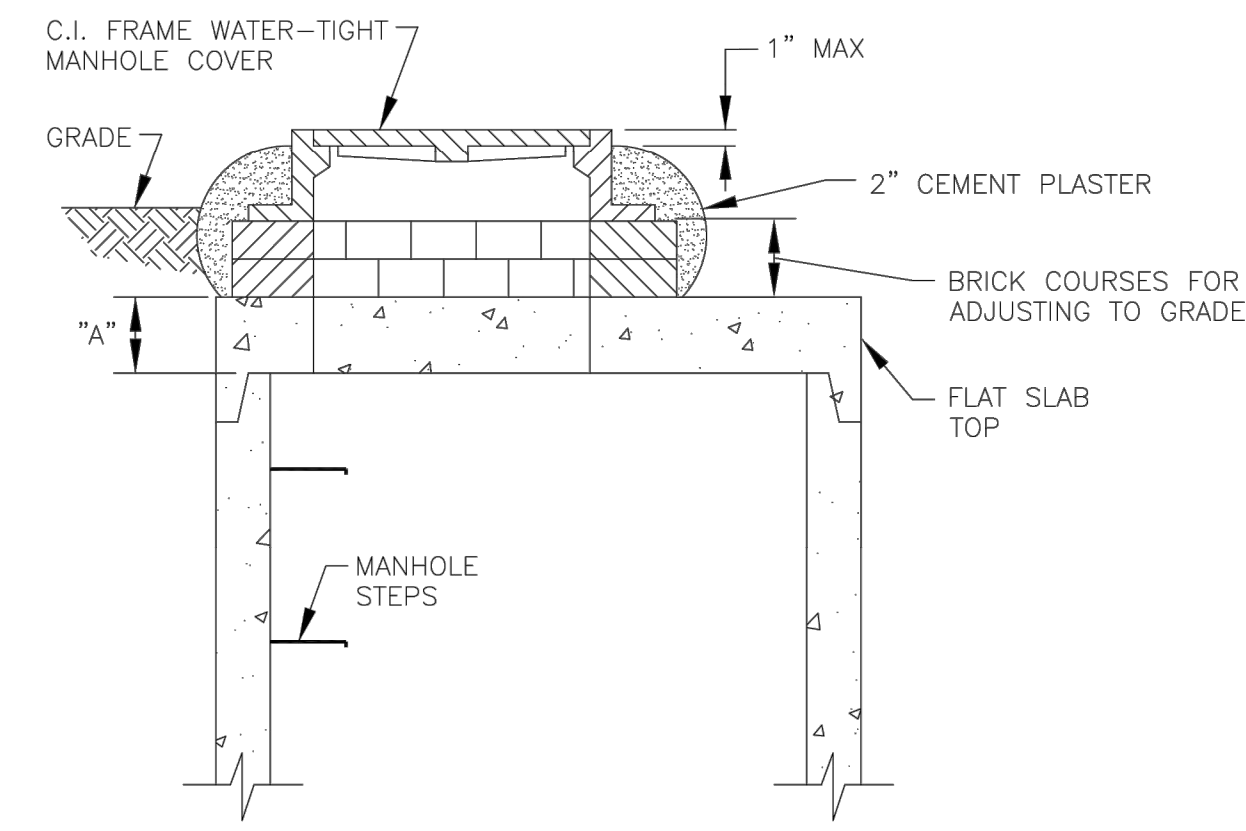
S-0006

INSIDE DROP MANHOLE

COWETA COUNTY
WATER AND SEWERAGE
AUTHORITY
545 CORNITH ROAD
NEWNAN, GA 30263
(770) 254-3700



DESIGNED: CCWSA DRAWN: JWP
DATE: 07/04 SCALE: NTS



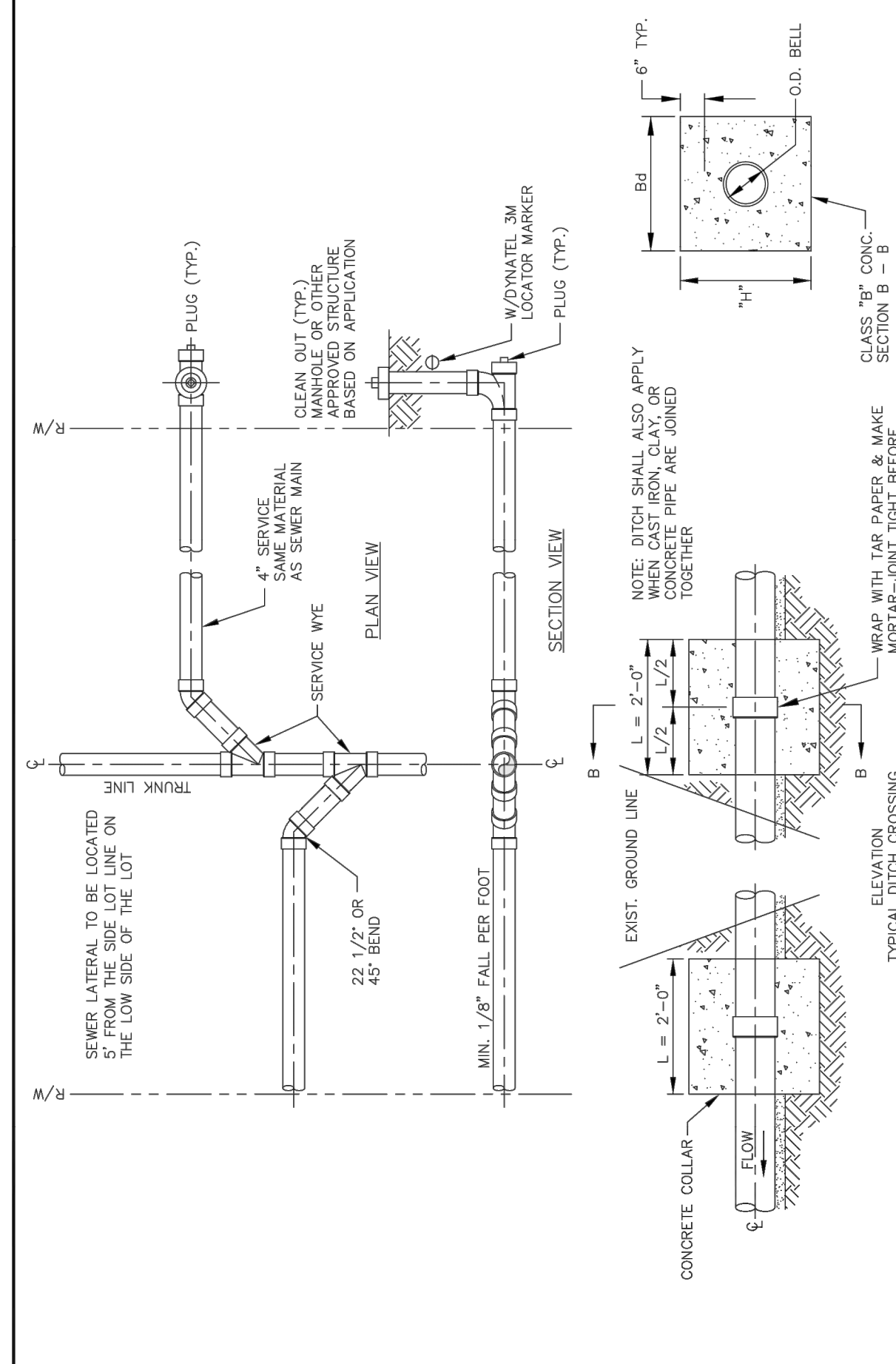
SHALLOW MANHOLE

S-0007

COWETA COUNTY
WATER AND SEWERAGE
AUTHORITY
545 CORNITH ROAD
NEWNAN, GA 30263
(770) 254-3700



DESIGNED: CCWSA DRAWN: JWP
DATE: 07/04 SCALE: NTS



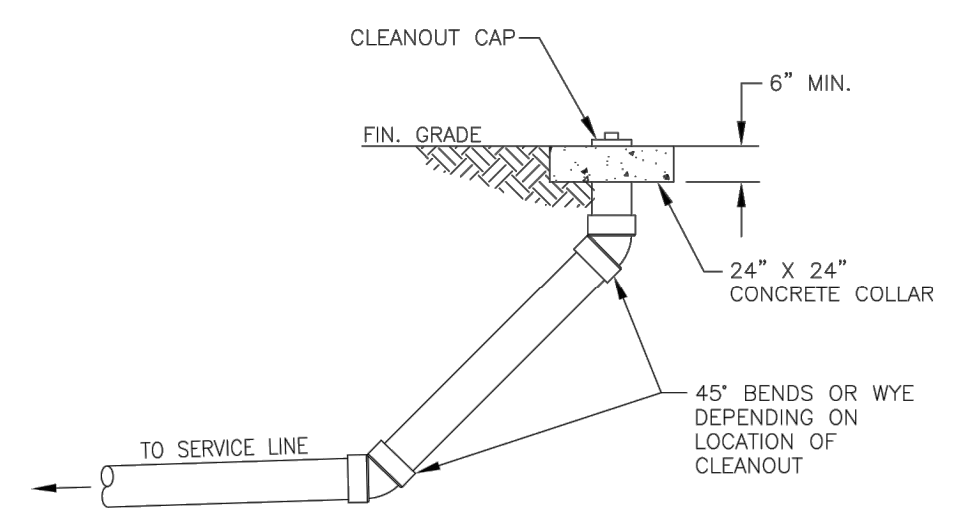
S-0011

SEWER LATERAL
INSTALLATION

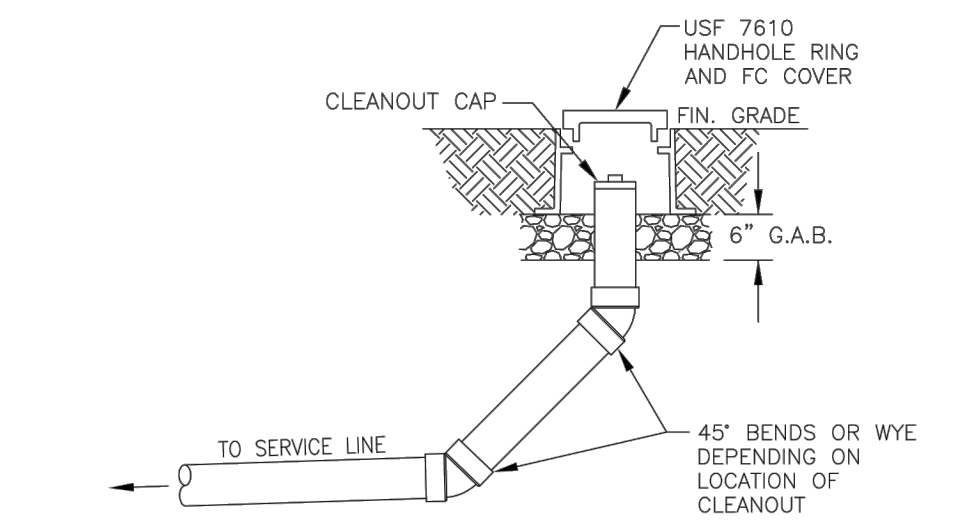
COWETA COUNTY
WATER AND SEWERAGE
AUTHORITY
545 CORNITH ROAD
NEWNAN, GA 30263
(770) 254-3700



DESIGNED: CCWSA DRAWN: JWP
DATE: 07/04 SCALE: NTS



CLEANOUT DETAIL



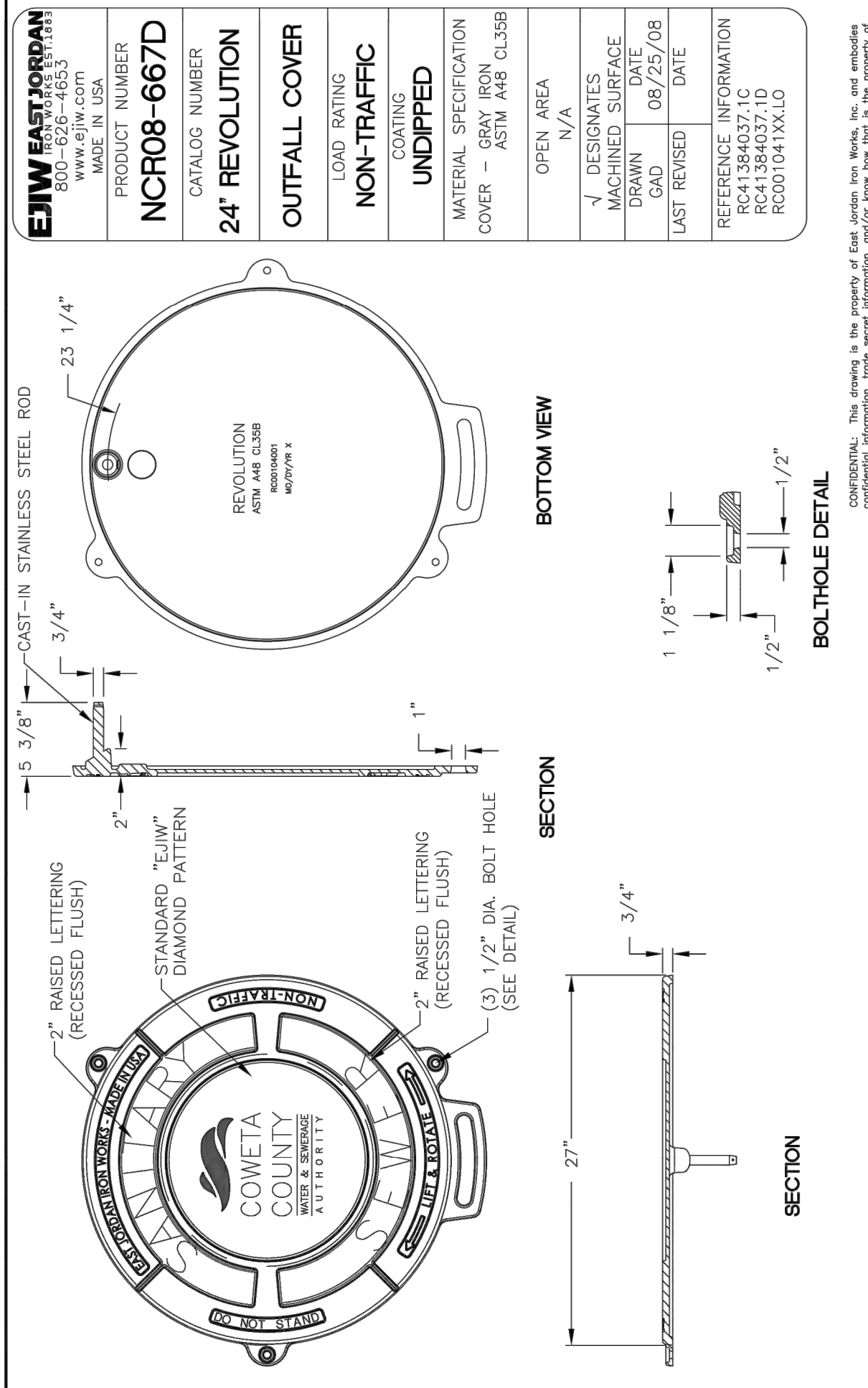
CLEANOUT DETAIL

S-0013

COWETA COUNTY
WATER AND SEWERAGE
AUTHORITY
545 CORNITH ROAD
NEWNAN, GA 30263
(770) 254-3700



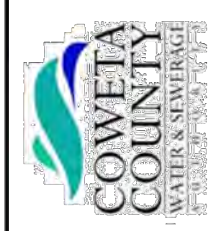
DESIGNED: CCWSA DRAWN: GMD
DATE: 01/17 SCALE: NTS



S-0014

OUTFALL MANHOLE
COVER

COWETA COUNTY
WATER AND SEWERAGE
AUTHORITY
545 CORNITH ROAD
NEWNAN, GA 30263
(770) 254-3700



DESIGNED: CCWSA DRAWN: GMD
DATE: 02/22 SCALE: NTS

EJW EAST JORDAN 800-526-4653 MADE IN USA	
PRODUCT NUMBER	NCR08-667D
CATALOG NUMBER	24" REVOLUTION
OUTFALL COVER	LOAD RATING: NON-TRAFFIC
COATING	UNDIPPED
MATERIAL SPECIFICATION	COVER - GRAY IRON ASTM A8 CL358
OPEN AREA	N/A
DESIGNATES	MACHINED SURFACE
DRAWN	08/25/08
DATE	08/25/08
LAST REVISED	DATE
REFERENCE INFORMATION	RC41384037-1C RC41384037-1D RC01041XX10

BY	REVISIONS	DATE
GMD	ADD	02/22
GMD	NOTES	02/22



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BUFORD, GA 30515
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(770) 369-8568 fax
dgd@daydesigngroup.com
www.daydesigngroup.com

**DAY
DESIGN
GROUP, Inc.**

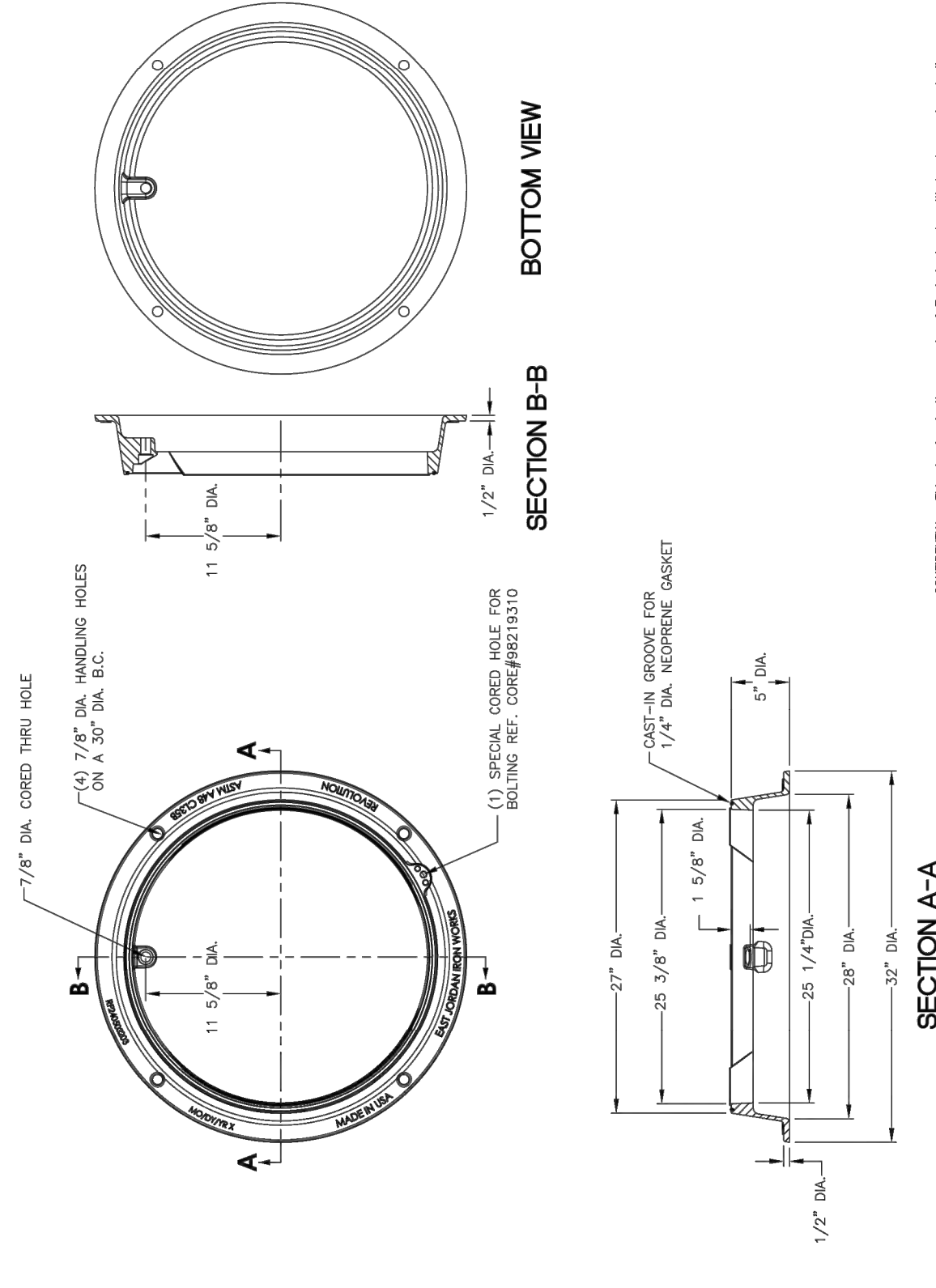
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COWETA COUNTY, GEORGIA

CONSTRUCTION DETAILS FOR

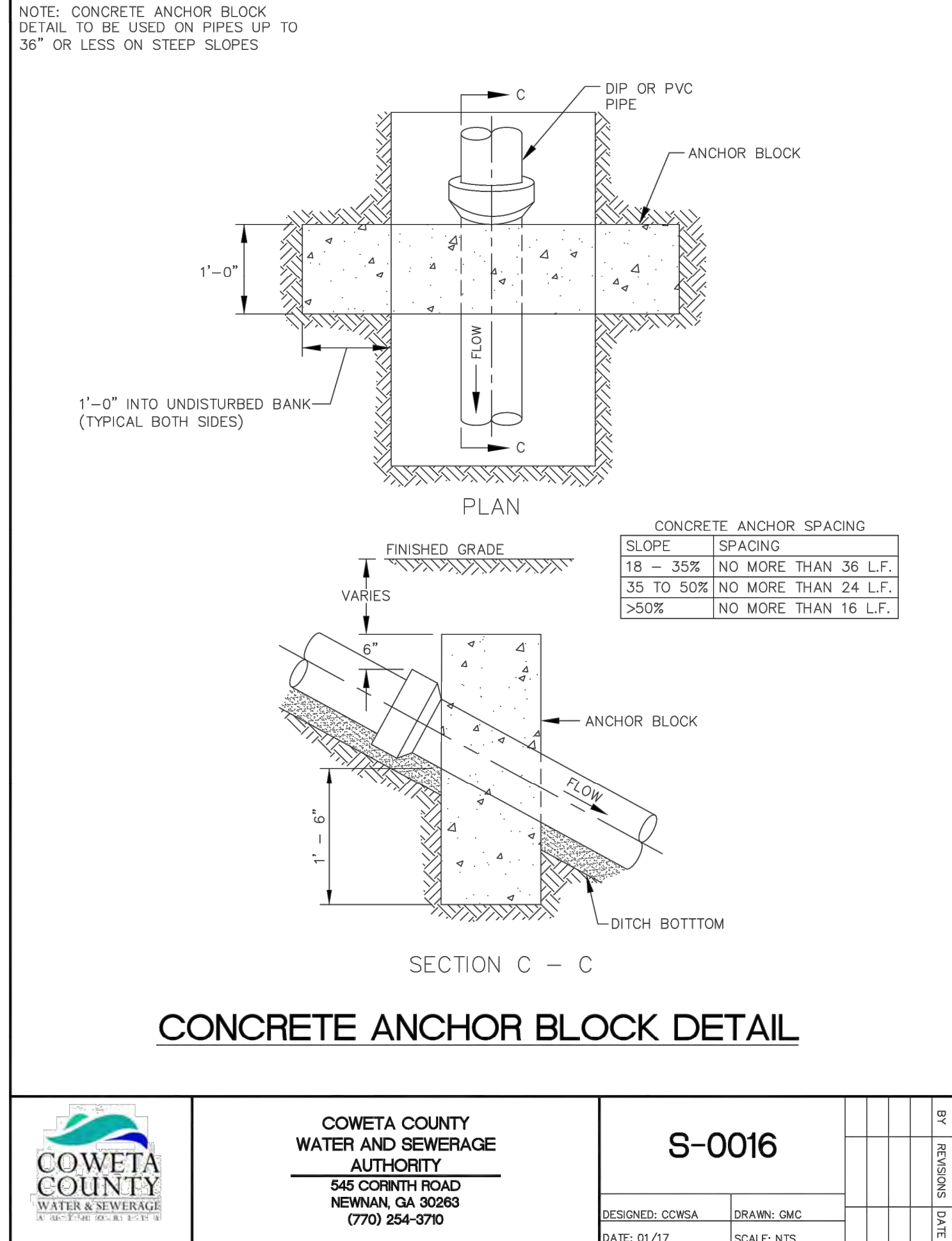
NO.	DATE	REVISIONS	DESCRIPTION
4	06/12/23	REVISIONS PER COUNTY COMMENTS	
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS	
2	01/23/23	REVISIONS PER COUNTY COMMENTS	
1	07/07/22	INITIAL DATE OF PLANS	

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

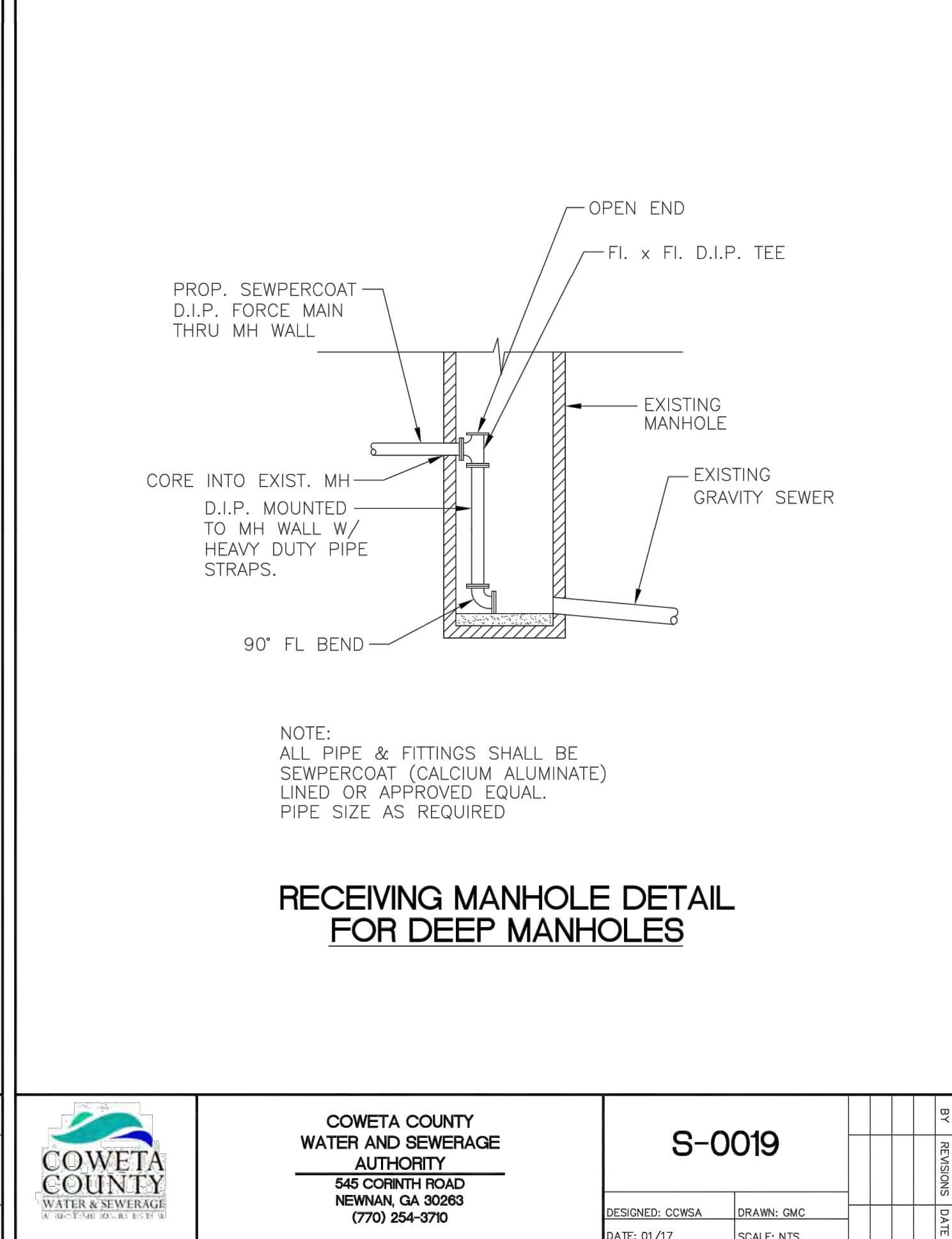
ENW EAST JORDAN 800-526-4653 WWW.ENW.COM MADE IN USA	
PRODUCT NUMBER	RF-240503203
CATALOG NUMBER	REVOLUTION
LOAD RATING	OUT-FALL FRAME
COATING	NON-TRAFFIC
UNDRIPPED	
ESTIMATED WEIGHT	FRAME: 85 LBS 39kg
MATERIAL SPECIFICATION	FRAME - GRAY IRON ASTM A88 C135B
OPEN AREA	N/A
DESIGNATES	
DRAWN	
DATE	
LAST REVISED	
DATE	
REFERENCE INFORMATION	RF-240503201



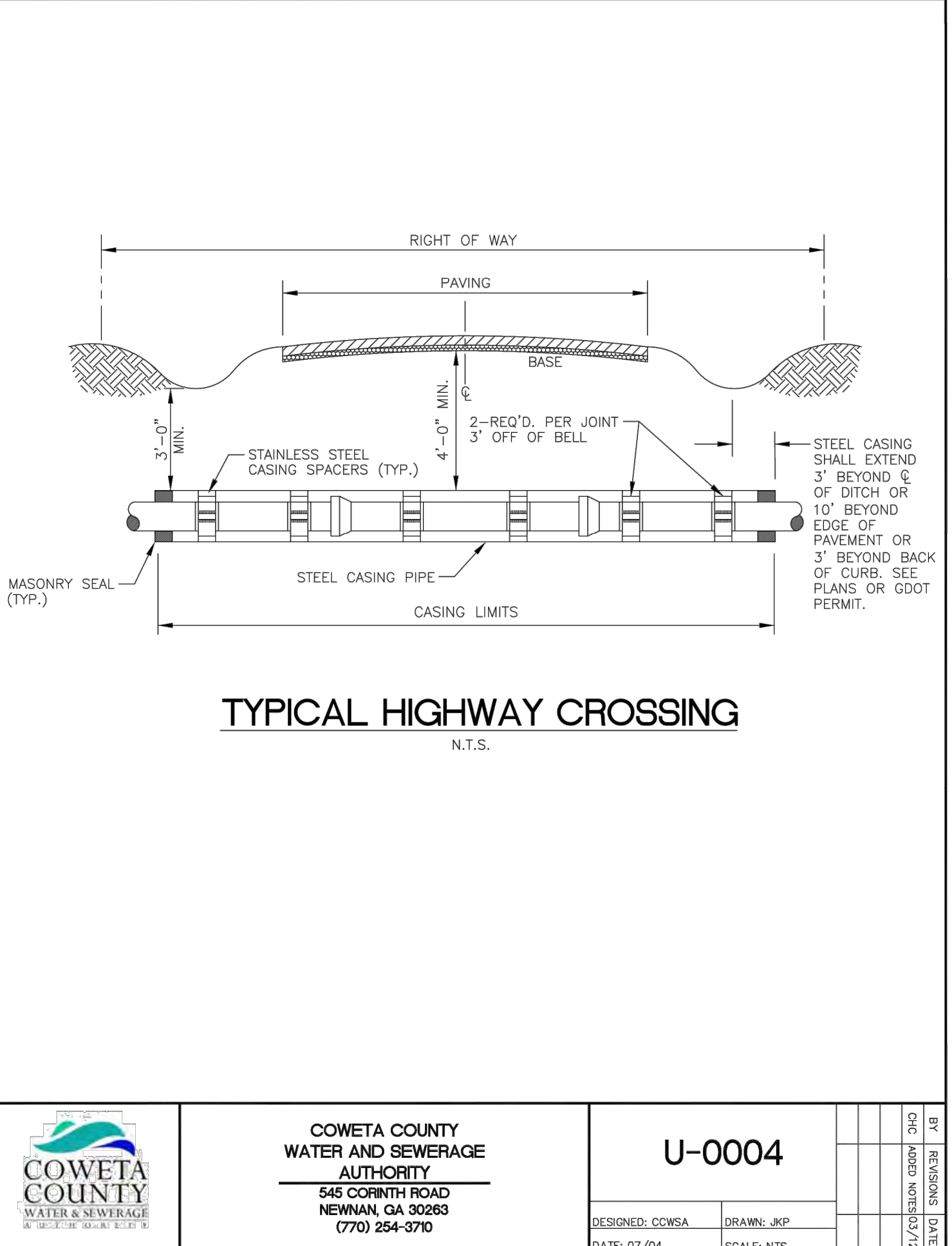
BY	REVISIONS	DATE
CHC	ADD DET.	08/08
CHC	NOTES	02/12
S-0015		
DESIGNED: CHC	DRAWN: CHC	SCALE: NTS
OUTFALL MANHOLE FRAME		
COWETA COUNTY WATER AND SEWERAGE AUTHORITY 545 CORNITH ROAD NEWMAN, GA 30263 (770) 254-3770		



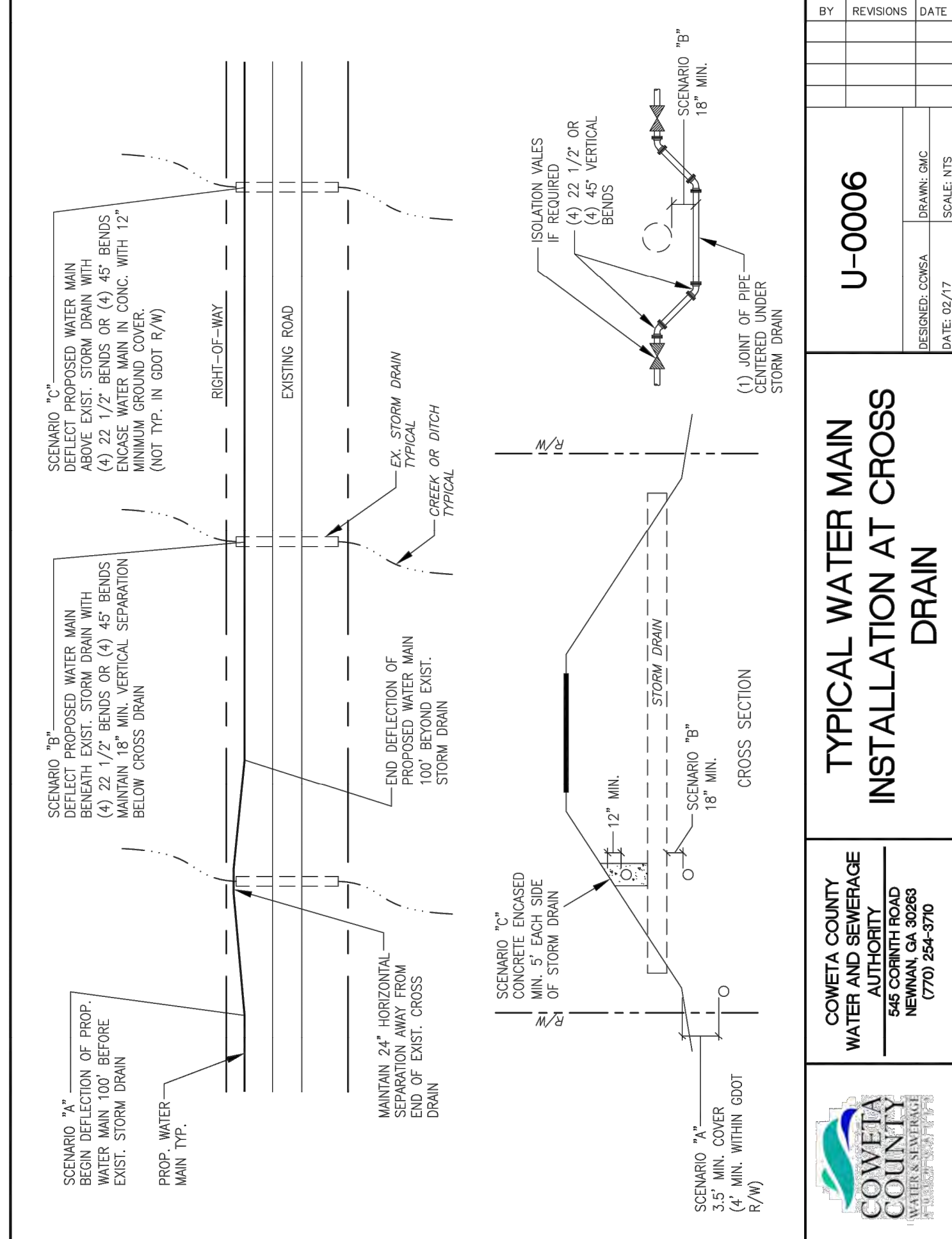
BY	REVISIONS	DATE
CHC	ADD DET.	08/08
CHC	NOTES	02/12
S-0016		
DESIGNED: CHC	DRAWN: CHC	SCALE: NTS
CONCRETE ANCHOR BLOCK DETAIL		
COWETA COUNTY WATER AND SEWERAGE AUTHORITY 545 CORNITH ROAD NEWMAN, GA 30263 (770) 254-3770		



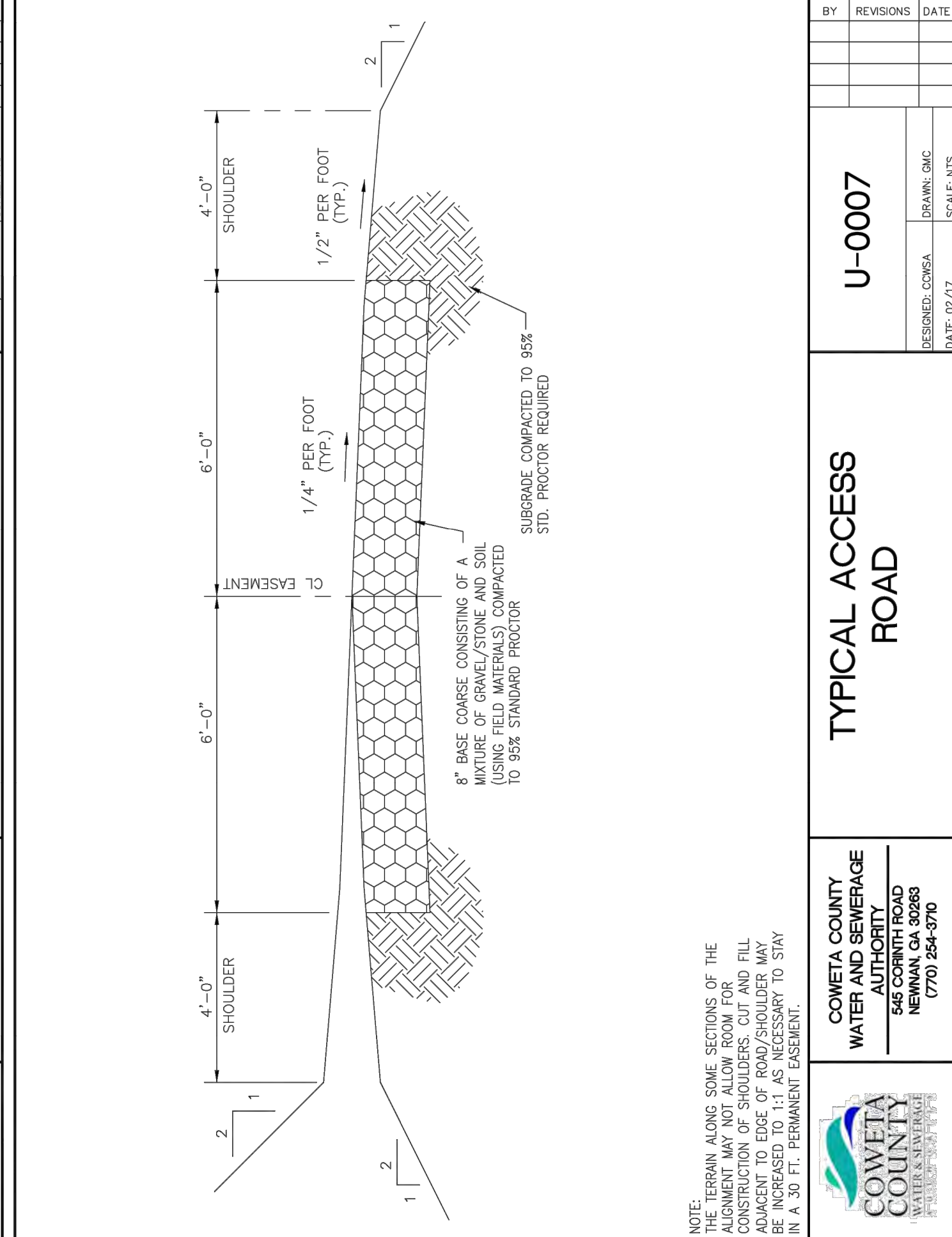
BY	REVISIONS	DATE
CHC	ADD DET.	08/08
CHC	NOTES	02/12
S-0019		
DESIGNED: CHC	DRAWN: CHC	SCALE: NTS
RECEIVING MANHOLE DETAIL FOR DEEP MANHOLES		
COWETA COUNTY WATER AND SEWERAGE AUTHORITY 545 CORNITH ROAD NEWMAN, GA 30263 (770) 254-3770		



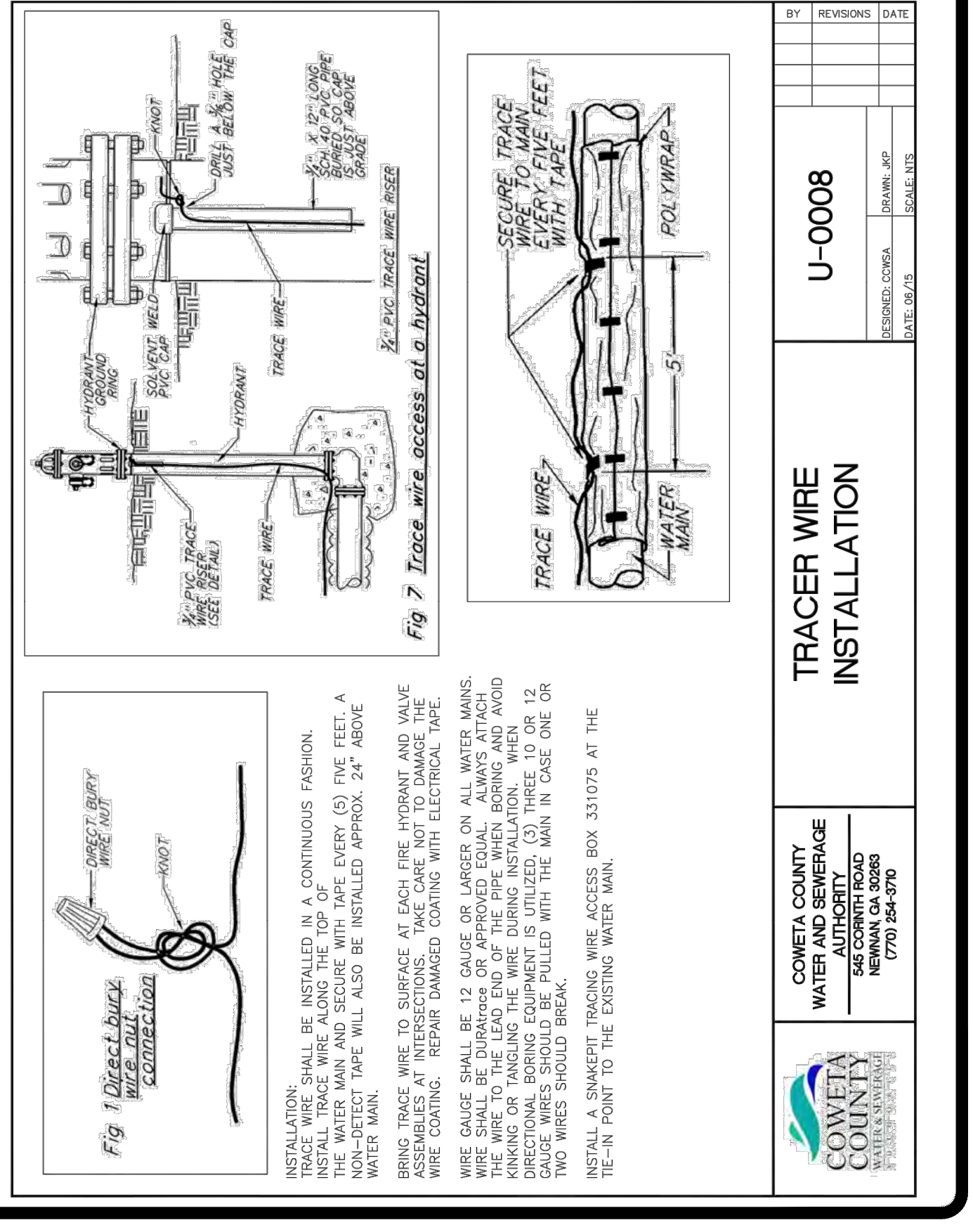
BY	REVISIONS	DATE
CHC	ADD DET.	08/08
CHC	NOTES	02/12
U-0004		
DESIGNED: CHC	DRAWN: JKP	SCALE: NTS
TYPICAL HIGHWAY CROSSING		
COWETA COUNTY WATER AND SEWERAGE AUTHORITY 545 CORNITH ROAD NEWMAN, GA 30263 (770) 254-3770		



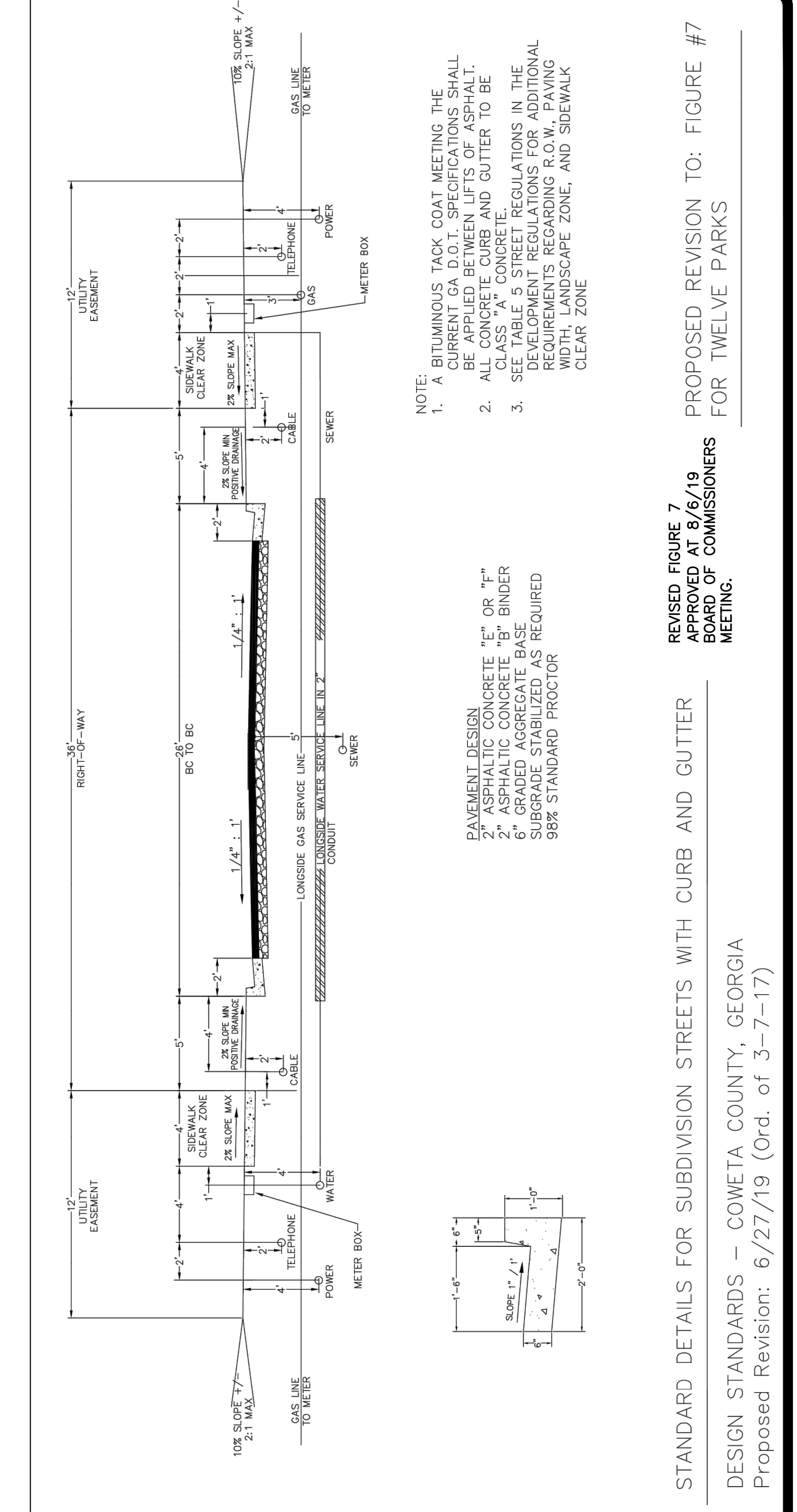
BY	REVISIONS	DATE
CHC	ADD DET.	08/08
CHC	NOTES	02/12
U-0006		
DESIGNED: CHC	DRAWN: CHC	SCALE: NTS
TYPICAL WATER MAIN INSTALLATION AT CROSS DRAIN		
COWETA COUNTY WATER AND SEWERAGE AUTHORITY 545 CORNITH ROAD NEWMAN, GA 30263 (770) 254-3770		



BY	REVISIONS	DATE
CHC	ADD DET.	08/08
CHC	NOTES	02/12
U-0007		
DESIGNED: CHC	DRAWN: CHC	SCALE: NTS
TYPICAL ACCESS ROAD		
COWETA COUNTY WATER AND SEWERAGE AUTHORITY 545 CORNITH ROAD NEWMAN, GA 30263 (770) 254-3770		



BY	REVISIONS	DATE
CHC	ADD DET.	08/08
CHC	NOTES	02/12
U-0008		
DESIGNED: CHC	DRAWN: JKP	SCALE: NTS
TRACER WIRE INSTALLATION		
COWETA COUNTY WATER AND SEWERAGE AUTHORITY 545 CORNITH ROAD NEWMAN, GA 30263 (770) 254-3770		



BY	REVISIONS	DATE
CHC	ADD DET.	08/08
CHC	NOTES	02/12
S-0019		
DESIGNED: CHC	DRAWN: CHC	SCALE: NTS
STANDARD DETAILS FOR SUBDIVISION STREETS WITH CURB AND GUTTER		
COWETA COUNTY WATER AND SEWERAGE AUTHORITY 545 CORNITH ROAD NEWMAN, GA 30263 (770) 254-3770		

TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
1ST DISTRICT - LAND LOTS 151-152
COWETA COUNTY, GEORGIA

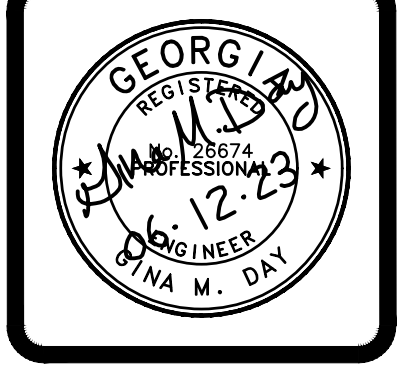
CONSTRUCTION DETAILS FOR

CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
SITE PLANNING

P.O. BOX 848
BUFORD, GA 30515
(770) 359-8568 fax
www.doydesigngroup.com

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET **20** OF **25**

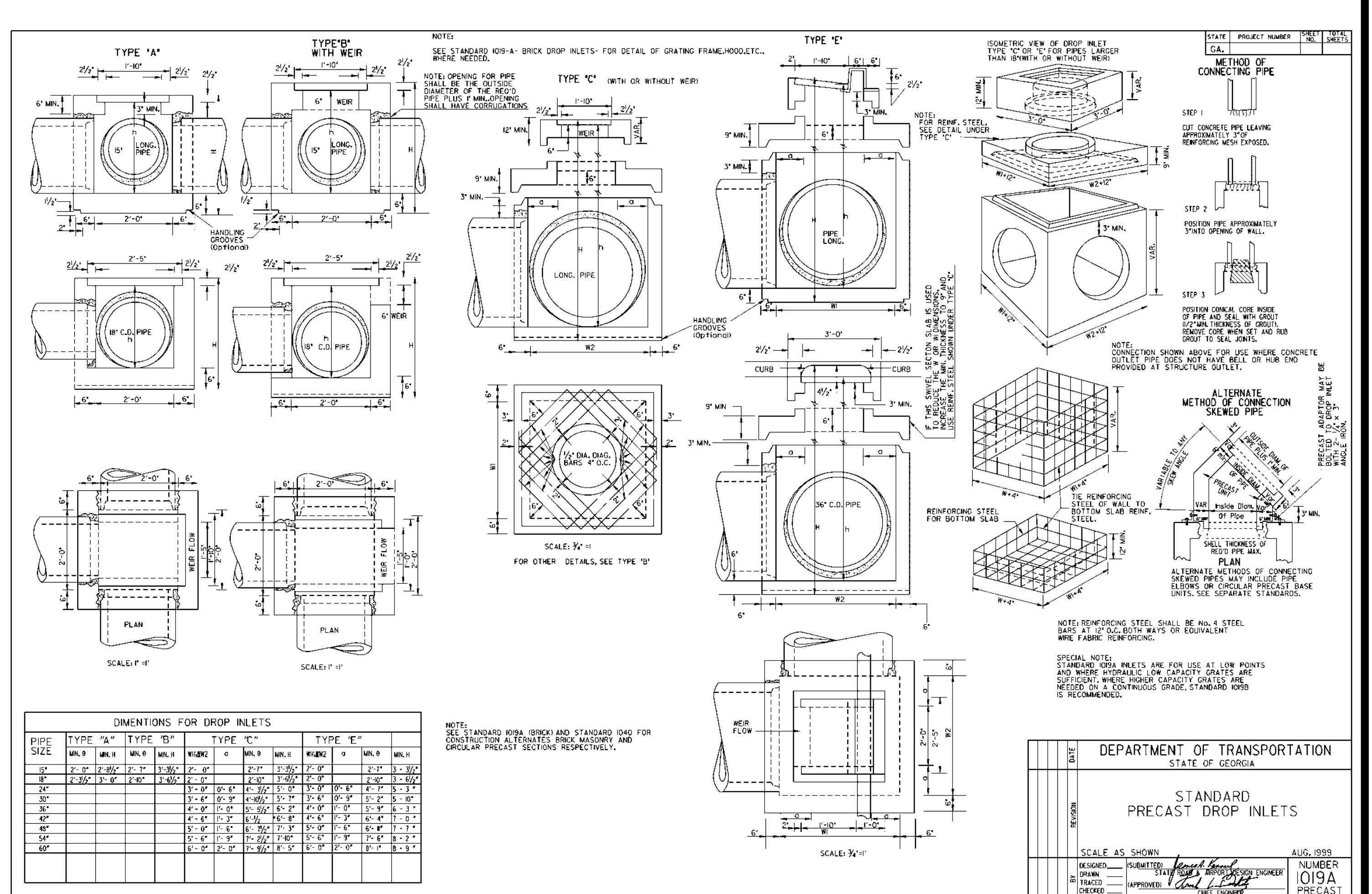
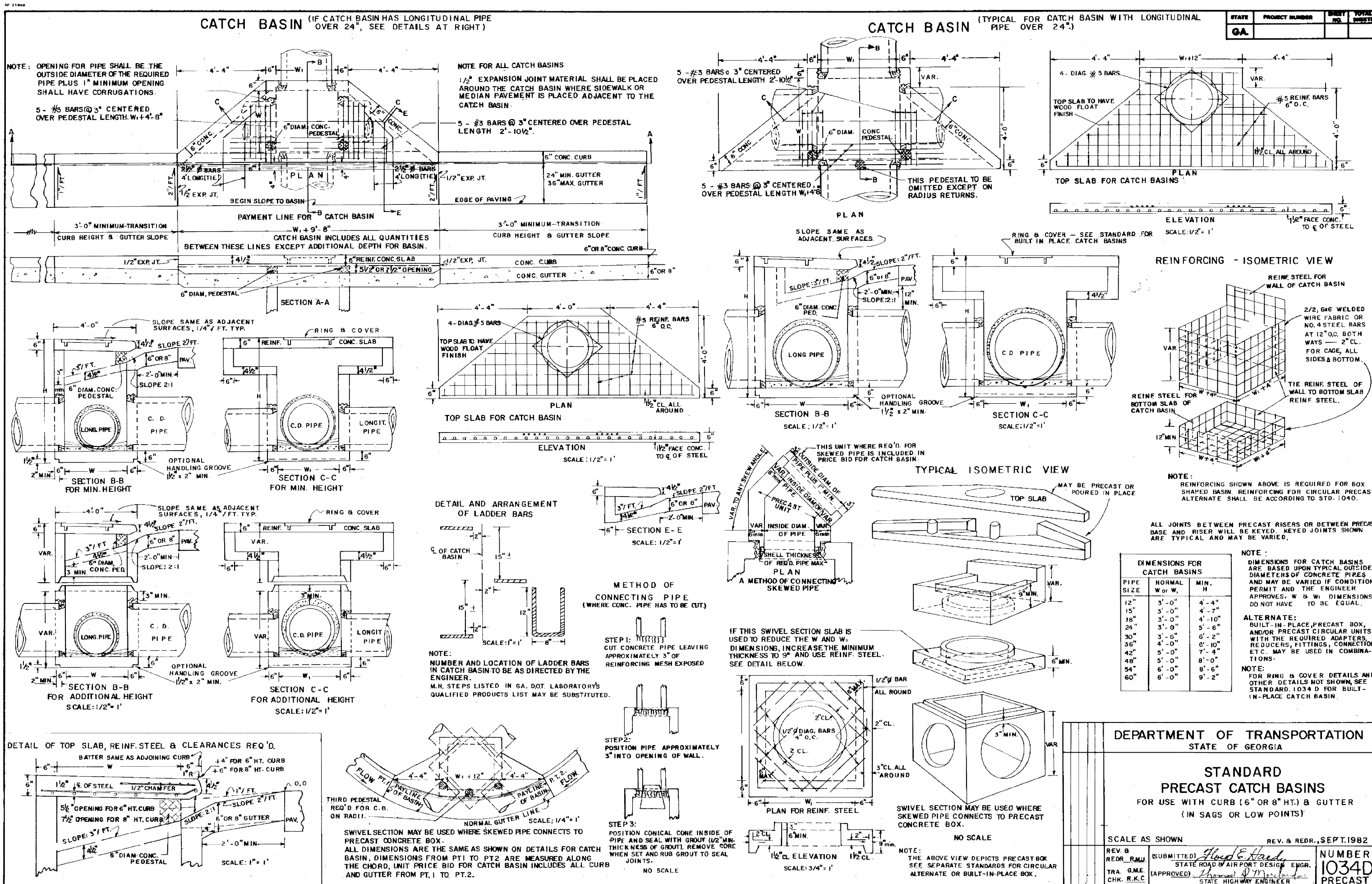
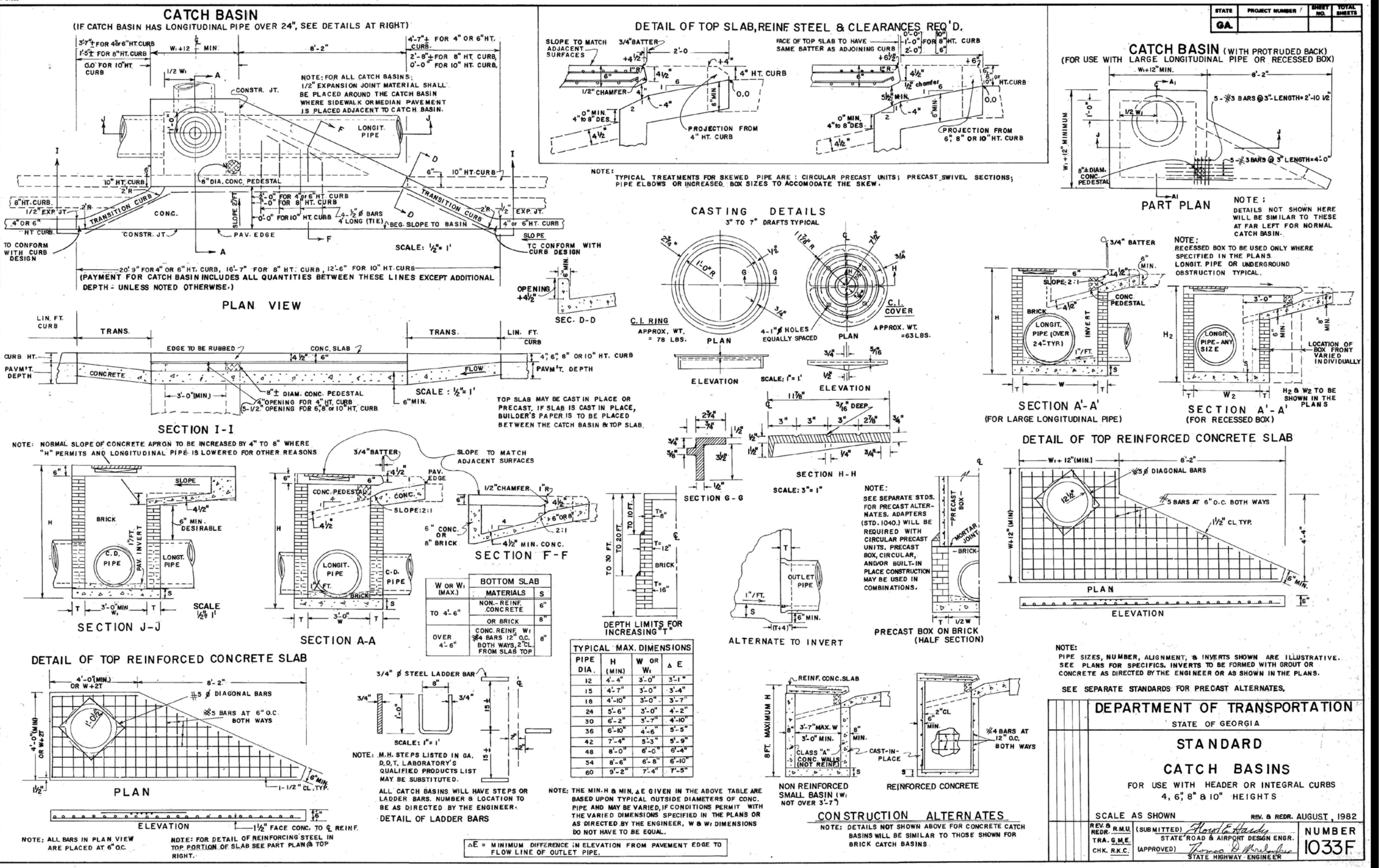
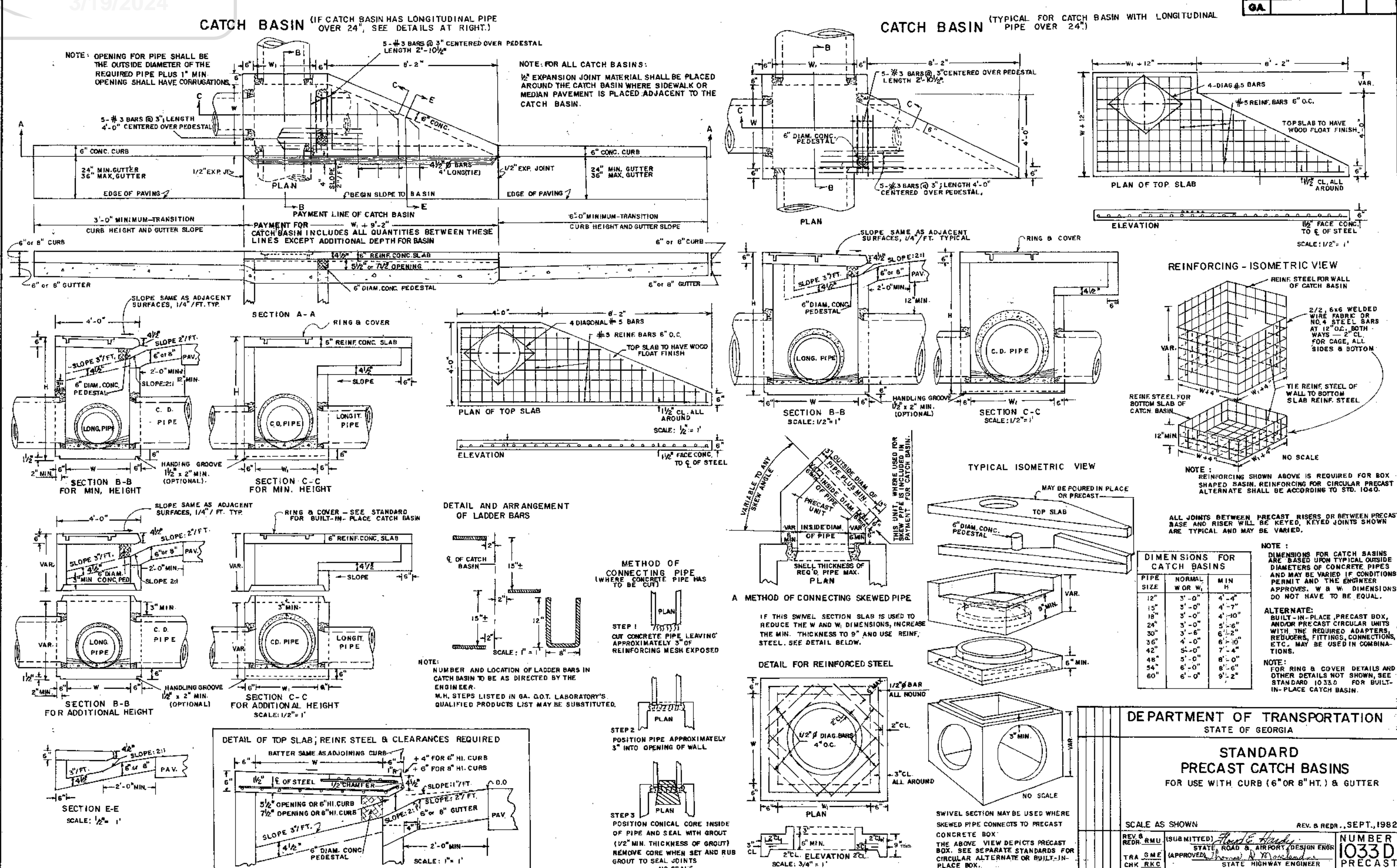


CIVIL ENGINEERING
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SITE PLANNING

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P.O. BOX 848
BUDORF, GA 30515

(770) 271-4576 ph.
(770) 369-8568 fax
dgg@daydesigngroup.com
www.daydesigngroup.com



CONSTRUCTION DETAILS

FOR

TWELVE PARKS - PHASE B1

PROPOSED RESIDENTIAL DEVELOPMENT

LOCATED IN

1ST DISTRICT - LAND LOTS 151-152

COWETA COUNTY, GEORGIA

NO.	DATE	REVISIONS	DESCRIPTION
4	06/12/23	REVISIONS PER COUNTY COMMENTS	
3	05/09/23	REVISIONS PER RIMLEY HORN COMMENTS	
2	01/23/23	REVISIONS PER COUNTY COMMENTS	
1	07/07/22	INITIAL DATE OF PLANS	

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

PIPE CURVED ALIGNMENT USING SECTIONS WITH DROPPED JOINTS

NOTE TO DESIGNER: A COST COMPARISON ESTIMATE SHALL BE MADE BEFORE PIPE CURVED ALIGNMENT IS SPECIFIED.

SECTION WITH DROPPED JOINT

NOTES FOR PIPE CURVED ALIGNMENT: PLANS ARE TO BE SPECIFICALLY FOR THE CURVED ALIGNMENT AND THE TANGENT ALIGNMENT. THE PIPE WALL THICKNESS IS PIPE SECTION LENGTHS AND JOINTS IN PIPE JOINTS SHALL BE MADE BEFORE PIPE CURVED ALIGNMENT IS SPECIFIED.

REINFORCED CONCRETE TOP

DETAILS OF CONCRETE JUNCTION BOX (PRECAST OR BUILT IN PLACE)

SECTIONAL VIEW

PLAN VIEW (SHOWING WITHOUT REINFORCING TOP)

DETAILS OF BRICK JUNCTION BOX FOR BRICK T-8 (MAX. 10 FT. DEPTH)

SECTIONAL VIEW

PLAN VIEW (SHOWING WITHOUT REINFORCING TOP)

DETAILS OF CIRCULAR PRECAST JUNCTION BOX (REINFORCING AND DESIGN SHALL COMPLY WITH A.S.T.M. C-476 EXCEPT AS OTHERWISE SHOWN. MATERIALS SHALL COMPLY WITH GA. STA. SPECIFICATIONS FOR PRECAST MANHOLE)

SECTIONAL VIEW

PLAN SECTION

GENERAL NOTES:

1. SPECIFICATION (FORM A STANDARD, CURRENT EDITION & SUPPLEMENTARY PRINTING).
2. ILLUSTRATED PIPES, PIPE JOINTS, ALIGNMENT, SIZES, ETC. ARE SHOWN AS REPRESENTATIVE. ACTUAL REQUIREMENTS MAY VARY AS LOCATED IN THE PLANS.
3. JUNCTION BOXES DO NOT HAVE TO BE CONSTRUCTED SQUARE. MIN. DIMENSIONS MAY VARY ACCORDING TO PIPE SIZE.
4. ALL JUNCTION BOX TOPS SHALL BE EQUIPPED WITH EITHER AN INLET OR AN OUTLET (WHICH IS SHOWN) OR A LIFTING MANHOLE (WHICH IS NOT SHOWN).
5. REINFORCING IS REQUIRED FOR ALL PRECAST JUNCTION BOXES. REINFORCING MAY BE OBTAINED FROM BUILT-IN PLANS. CONCRETE JOINTS PERMITTED IF DOWNED OR REVEAL. ALL JUNCTION BOX TOPS SHALL BE REINFORCED.

DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA
STANDARD
PRECAST OR BUILT IN PLACE
JUNCTION BOXES
PIPE COLLARS, PIPE ELBOW
& PIPE CURVED ALIGNMENT

NO SCALE
REV. & RECD. JULY 1980
DES. BY: [Signature]
CHK. BY: [Signature]
STATE: GEORGIA
NUMBER: 9031U

OUTLET HEADWALL

INLET HEADWALL

FRONT ELEVATION

FRONT ELEVATION

SECTION A-A

SECTION B-B (SINGLE PIPE LINE)

SECTION B-B (MULTIPLE PIPE LINE)

SECTION C-C

ADDITIONAL BAR DETAIL

TABLE NO. 1 - QUANTITIES FOR HEADWALLS

D	CONCRETE QUANTITIES FOR SINGLE LINE		CONCRETE QUANTITIES FOR EACH ADD'L LINE	
	INLET	OUTLET	INLET	OUTLET
6"	0.87	0.83	0.60	0.66
8"	1.00	1.00	0.85	0.93
10"	1.16	1.03	1.09	1.17
12"	1.32	1.19	1.25	1.33
14"	1.48	1.35	1.41	1.49
16"	1.64	1.51	1.57	1.65
18"	1.80	1.67	1.73	1.81
20"	1.96	1.83	1.89	1.97
22"	2.12	1.99	2.05	2.13
24"	2.28	2.15	2.21	2.29
26"	2.44	2.31	2.37	2.45
28"	2.60	2.47	2.53	2.61
30"	2.76	2.63	2.69	2.77
32"	2.92	2.79	2.85	2.93
34"	3.08	2.95	3.01	3.09
36"	3.24	3.11	3.17	3.25
38"	3.40	3.27	3.33	3.41
40"	3.56	3.43	3.49	3.57
42"	3.72	3.59	3.65	3.73
44"	3.88	3.75	3.81	3.89
46"	4.04	3.91	3.97	4.05
48"	4.20	4.07	4.13	4.21
50"	4.36	4.23	4.29	4.37
52"	4.52	4.39	4.45	4.53
54"	4.68	4.55	4.61	4.69
56"	4.84	4.71	4.77	4.85
58"	5.00	4.87	4.93	5.01
60"	5.16	5.03	5.09	5.17

DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA
STANDARD
TAPERED
INLET HEADWALL - OUTLET HEADWALL
(BUILT-IN-PLACE)

NO SCALE
REV. & RECD. OCT. 1999
DES. BY: [Signature]
CHK. BY: [Signature]
STATE: GEORGIA
NUMBER: 1125

DETAILS OF DROP INLET WITH DOUBLE WEIR OPENING

ISOMETRIC VIEW

DETAIL OF SINGLE WEIR OPENING

REINFORCING FOR OPTIONAL PRECAST APRON

REINFORCING FOR OPTIONAL PRECAST APRON

DROP INLET WITH ADDITIONAL HEIGHT

DROP INLET WITH ENLARGED BASE

TYPICAL PLAN FOR SKEWED PIPE

REDUCER SLAB

TYPICAL DROP INLET DIMENSIONS

GENERAL NOTES:

1. SPECIFICATIONS (GA. STANDARDS, CURRENT EDITION, & SUPPLEMENTS THEREIN).
2. SEE STD. 303-L FOR ADDITIONAL DETAILS WHERE INLET IS CONSTRUCTED ON BOX COLLECTOR.
3. SEE STD. 1040 FOR CIRCULAR PRECAST ALTERNATES.
4. PRECAST ON BRICK MASONRY: BRICK CONSTRUCTION SHALL EXCEED 2" ABOVE TOP OF PIPE. PRECAST ON CONCRETE SHALL BE CONSTRUCTED ON FLUSH OR CONC. FILLED TO GIVE MAX. BEARING AREA.
5. TYPICAL TREATMENT FOR SKEWED PIPES: PRECAST ALTERNATE SHALL BE FLUSH OR CONC. FILLED TO GIVE MAX. BEARING AREA.
6. WITH PRECAST APRON - CONSTRUCT BOX WITH WALLS PERPENDICULAR TO PIPE AND SET PRECAST APRON PARALLEL TO DITCH AND SLOPE RELATIVE TO PIPE OR USE CIRCULAR SECTION (STD. 1040).
7. WITH BUILT-IN-PLACE APRON - CONSTRUCT BOX PERPENDICULAR TO PIPE AND USE REDUCER SLAB OR INCREASE W OR W DIMENSIONS AS NECESSARY OR USE CIRCULAR SECTION (STD. 1040).

DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA
STANDARD
MEDIAN DROP INLET
(PRECAST OR BUILT-IN-PLACE)
& CONCRETE APRON

NO SCALE
REV. & RECD. AUGUST 20, 1991
DES. BY: [Signature]
CHK. BY: [Signature]
STATE: GEORGIA
NUMBER: 903HS

RAISED PAVEMENT MARKER (RPM) DETAIL

HORIZONTAL CURVE

APPROACH W/ LEFT TURN LANE

NOTES:

1. FOR HORIZONTAL CURVES OF 6° OR GREATER, THE SPACING OF THE CENTER LINE MARKERS SHALL BE REDUCED TO 40 FEET BETWEEN P.C. AND P.T.
2. FOR HORIZONTAL CURVES OF 10° OR GREATER, THE SPACING OF THE CENTER LINE MARKERS MAY BE REDUCED TO 20 FEET BETWEEN P.C. AND P.T. WHEN USING 20 FOOT SPACING. 12 RAISED PAVEMENT MARKERS AT 40 FOOT SPACING SHALL BE INSTALLED ON EACH END OF THE 20 FOOT SPACING.
3. A MINIMUM OF 3 EQUALLY SPACED RAISED PAVEMENT MARKERS SHALL BE INSTALLED ON THE BACK TAPER.
4. WHEN A CHANNELIZING LINE IS LESS THAN 80 FEET LONG, ONE RAISED PAVEMENT MARKER SHALL BE PLACED AT EACH END OF THE LINE AND ONE SHALL BE PLACED IN THE CENTER OF LINE.
5. ALL APPROACHES AT A SIGNALIZED INTERSECTION SHALL BE TREATED AS SHOWN IN THE STOP APPROACH DETAIL.

DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA
STANDARD
INLET HEADWALL - OUTLET HEADWALL
(BUILT-IN-PLACE)

NO SCALE
REV. & RECD. OCT. 1999
DES. BY: [Signature]
CHK. BY: [Signature]
STATE: GEORGIA
NUMBER: 1125



CIVIL ENGINEERING
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DAY DESIGN GROUP, Inc.

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BURLINGTON, GA 30515

(770) 271-4576 ph.
(770) 369-8568 fax
www.daydesigngroup.com

CONSTRUCTION DETAILS FOR
TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT

LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COMETA COUNTY, GEORGIA

NO.	DATE	REVISIONS	DESCRIPTION
4	06/12/23	REVISIONS PER COUNTY COMMENTS	
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS	
2	01/23/23	REVISIONS PER COUNTY COMMENTS	
1	07/07/22	INITIAL DATE OF PLANS	

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET 22 OF 25

APPROVED
CONST-22-000112

ALTERNATE 1

GENERAL NOTES

GENERAL NOTE ALTERNATE 1:
1. NUMBER OF BARS REQUIRED WILL VARY DEPENDING ON THE LENGTH OF THE END SECTION. SPACING BETWEEN CENTERS OF BARS SHALL NOT EXCEED 24 INCHES.
2. BOTH SIDES SHALL HAVE A REINFORCED EDGE FULL LENGTH OF END SECTION (SEE SECTION A-A).
3. GALVANIZED STEEL SHEET CONFORMING TO AASHTO M 281.
4. PAYMENT FOR END SECTION SHALL INCLUDE CONNECTION OF THE TYPE REQUIRED FOR THE SIDE DRAIN USED.
5. SAFETY BARS SHALL BE 3" SCHEDULED 40 GALVANIZED STEEL PIPE PIPE TO BE GALVANIZED AFTER FORMING. SAFETY BARS SHALL BE REQUIRED FOR ALL SAFETY END SECTIONS.
6. MISCELLANEOUS DETAILS: DETAILS OF CONSTRUCTION MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE MANUFACTURER'S REQUIREMENTS, SUBJECT TO APPROVAL BY THE LOCAL JURISDICTION. SAMPLES MUST BE SUBMITTED TO PRE-QUALIFY THE PRODUCT.

PIPE DIA. (IN.)	MIN. THICK. (IN.)	MIN. GAGE	H	W	OVERALL LENGTH (IN.)	SLOPE LENGTH (IN.)	PIPE LENGTH (IN.)
15	.064	8	6	21	37	41	20
18	.064	8	6	24	40	44	32
24	.064	8	6	30	43	46	56
30	.075	12	9	36	60	48	80
36	.075	12	9	42	66	48	104
42	.075	12	12	48	80	48	128
48	.075	12	16	54	86	48	152
60	.075	12	16	54	86	48	228

DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA
STANDARD SAFETY END SECTION (METAL)
(FOR SIDE DRAIN PIPE-OR FOR STORM DRAIN PIPE PARALLEL TO MAINLINE)
ALTERNATE 1
NO SCALE
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: JAN. 2005
NUMBER: 1122
SHEET 1 OF 3

ALTERNATE 2

GENERAL NOTE ALTERNATE 2:
1. THE MATERIAL USED IN FABRICATION OF SLOPED END SECTION SHALL CONFORM TO THE SPECIFICATIONS OF AASHTO M 281 (GALVANIZED STEEL).
2. SLOPED END SECTIONS SHALL BE FORMED FROM FULL CIRCLE PIPE MAY BE FORMED INTO ARCHES WHERE SPECIFIED. ALL REQUIREMENTS FOR CONNECTION, GAGE, AND OTHER FABRICATION REQUIREMENTS.
3. THE EXPOSED EDGE CUT ON THE TOP SHALL BE COVERED WITH AN APPROVED PROTECTIVE CAP OF 1/2" THICK. THE PROTECTIVE CAP SHALL BE THE SAME MATERIAL AS THE PIPE AND MINIMUM 1/4" THICK. THE PROTECTIVE CAP SHALL BE HELD WITH VARIOUS METHODS INCLUDING BUT NOT LIMITED TO: WELDING, BOLTING, AND ADHESIVE. THE PROTECTIVE CAP SHALL BE FULLY SECURED TO THE TOP OF ALL CAPS. INTERFERENCE SHALL BE AVOIDED. ALL DETAILS SHALL BE IN ACCORDANCE WITH GOOD STANDARD PRACTICES SECTION 645.
4. CONNECTIONS OF GALVANIZED STEEL END TREATMENTS TO CORRUGATED ALUMINUM OR ALUMINIZED STEEL MUST UTILIZE A POLYMER COATED GALVANIZED STEEL BAND MEETING THE REQUIREMENTS OF AASHTO M 256 R4.
5. ADAPTER SLEEVE IS TO BE CONSTRUCTED OF GALVANIZED STEEL CONFORMING TO THE REQUIREMENTS OF AASHTO M 281, MINIMUM 1/4" GAGE LIGHT MATERIAL.
6. BOTTOM SAFETY BAR SHALL HAVE A MAXIMUM CLEARANCE OF 1/4" FROM THE BOTTOM OF THE INSTALLED BAR TO INSURE CREEP OF PIPE CORRUGATION.

PIPE DIA. (INCHES)	GAGE	MIN. SLOPE (PERCENT)	MIN. SLOPE (DEGREES)	L DIMENSION (INCHES)	H DIMENSION (INCHES)
17"x13"	16	.064"	1°-8'	2'-6"	2'-6"
21"x15"	16	.064"	2°-4'	3'-6"	3'-6"
24"x18"	16	.064"	3°-4'	5'-0"	5'-0"
28"x20"	16	.064"	4°-0'	6'-0"	6'-0"
35"x24"	14	.075"	5°-4'	8'-0"	8'-0"
42"x28"	14	.075"	7°-0'	10'-6"	10'-6"
48"x33"	14	.075"	8°-4'	12'-6"	12'-6"
57"x38"	12	.093"	10°-0'	15'-0"	15'-0"
64"x43"	12	.093"	11°-8'	17'-6"	17'-6"
71"x47"	10	.138"	13°-0'	19'-6"	19'-6"

DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA
STANDARD SAFETY END SECTION (METAL)
(FOR SIDE DRAIN PIPE-OR FOR STORM DRAIN PIPE PARALLEL TO MAINLINE)
ALTERNATE 2
NO SCALE
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: JAN. 2005
NUMBER: 1122
SHEET 2 OF 3

GENERAL NOTES

DRIVEWAYS WILL NOT BE SKEWED EXCEPT WHERE PERPENDICULAR ALIGNMENT IS NOT FEASIBLE.

DRIVEWAY ENTRIES SHALL BE MEASURED AS FOLLOWS:
1. QUANTITIES SHALL BE MEASURED AS FOLLOWS:
a. CONCRETE VALLEY GUTTERS SHALL BE MEASURED FOR PAYMENT CONTINUOUS THRU THE ENTIRE LENGTH OF DRIVEWAY. DRIVEWAY SHALL INCLUDE CURB RAMP DOWN THE TOP PORTION OF THE CURB. SLICES OF CONCRETE VALLEY GUTTER SHALL BE MEASURED FOR PAYMENT TO THE BACK OF THE CURB LINE.
b. HEADER FOR INTEGRAL CURB ALONG ROADWAY SHALL BE MEASURED FOR PAYMENT TO THE REAR OF DRIVEWAY. VALLEY GUTTER SHALL BE MEASURED FOR PAYMENT TO THE SIDE OF THE DRIVEWAY PAVING.
2. NE.P. IS DEFINED AS THE POINT WHERE THE DRIVEWAY PAVING MEETS THE CURB & GUTTER OR HEADER CURB OR FACE OF THE INTEGRAL CURB.
3. DRIVEWAY ENTRIES SHALL BE REPAIRED IN WHOLE UNLESS FOR ASPHALT, CONCRETE FOR CONCRETE AND PAVED TO THE RIGHT OF MAINLINE.
4. SEE STANDARD SPEC FOR DETAILS OF CONCRETE CURB & GUTTER, HEADER CURBS AND CORNERED INTEGRAL CURBS.
5. NOTES OF CONCRETE DRIVEWAYS SHALL COMPLY WITH CURRENT RULES AND REGULATIONS FOR DRIVEWAY AND DRIVEWAY CENTER & WIDTH OF DRIVEWAY. NON-CONCRETE DRIVEWAYS SHALL BE AS SPECIFIED IN THE PLANS.
6. THE SLOPE OF THE TRANSITION AREA OF THE CONCRETE VALLEY GUTTER SHALL NOT BE STEEPER THAN THE SIDEWALK SLOPE AND LOCATED.
7. MAXIMUM DRIVEWAY GRADES SHALL BE AS INTENDED FOR RESIDENTIAL DRIVEWAYS. WHERE FLATTER GRADES ARE NOT FEASIBLE, GRADES FOR COMMERCIAL DRIVEWAYS OR FOR TRUCKS SHALL NOT BE GREATER THAN UNLESS SPECIFIED OTHERWISE.

DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA
CONSTRUCTION DETAIL DRIVEWAYS WITH TAPERED DRIVEWAY ENTRIES CONCRETE VALLEY GUTTERS
NO SCALE
MARCH 12, 2002
NUMBER: AI

ALTERNATE 3

GENERAL NOTES:
1. CONCRETE STRENGTH SHALL BE 4000 PSI MINIMUM.
2. REINFORCING SHALL BE PER AASHTO M170, CLASS II REINFORCED CONCRETE PIPE, PLUS ONE #4 BAR TOP AND BOTTOM, EACH SIDE.
3. WALLS MAY HAVE 1/4" TAPER. WALL THICKNESSES SHOWN ARE THE MINIMUM.
4. LIFT HOLES MAY BE PROVIDED IN THE SIDE WALLS FOR HANDLING.
5. END SECTION JOINT WILL BE A MATCHED FIT TO THE ADJOINING PIPE JOINT AT ALL INLET AND OUTLET ENDS. NON-FITTING JOINTS WILL REQUIRE A BUILT-IN-PLACE REINFORCED COLLAR CONNECTION WITH NO ADDITIONAL PAYMENT.
6. ALL END SECTIONS FOR PIPES WITH 10" OVER 24" ON SINGLE LINES WILL HAVE GALV. SAFETY BARS, SPACED NOT MORE THAN 24" ON CENTERS, AND INSTALLED PERPENDICULAR TO THE MAINLINE TRAFFIC FLOW. ALL END SECTIONS FOR MULTIPLE LINE PIPES WILL HAVE GRATES.
7. TYPICAL USE OF SAFETY END SECTIONS IS AT THE ENDS OF PIPES UNDER DRIVEWAYS OR SIDEROADS WHERE THE PIPE CULVERT IS PARALLEL TO THE MAINLINE AND FALLS INSIDE THE MAINLINE CLEAR ZONE WIDTH.

PIPE DIA.	T (MIN)	D	H	L
15"	3"	15"	21"	4'-6"
18"	3"	18"	24"	6'-0"
24"	3"	24"	30"	9'-0"
30"	4"	30"	38"	12'-6"
36"	4"	36"	44"	15'-6"
42"	4"	42"	50"	18'-6"
48"	5"	48"	58"	22'-0"

DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA
STANDARD SAFETY END SECTION (CONCRETE)
(FOR SIDE DRAIN PIPE-OR FOR STORM DRAIN PIPE PARALLEL TO MAINLINE)
ALTERNATE 3
NO SCALE
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: OCT., 2000
NUMBER: 1122
SHEET 3 OF 3



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TWELVE PARKS - PHASE B1
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED IN
1ST DISTRICT - LAND LOTS 151-152
COMETA COUNTY, GEORGIA

CONSTRUCTION DETAILS FOR

NO.	DATE	REVISIONS	DESCRIPTION
4	06/12/23	REVISIONS PER COUNTY COMMENTS	
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS	
2	01/23/23	REVISIONS PER COUNTY COMMENTS	
1	07/07/22	INITIAL DATE OF PLANS	

DATE: 04/10/23
DRAWN BY: GMD
JOB NO.: 07-110

SHEET 23 OF 25

APPENDIX GENERAL NOTES

"AS-BUILT" DRAWINGS SHALL BE FIELD VERIFIED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR, LICENSED IN THE STATE OF GEORGIA.

ALL CONTRACTORS FOR WATER AND SEWER CONSTRUCTION SHALL BE ON THE CITY/COUNTY APPROVED CONTRACTORS LIST.

CONTACT THE CITY/COUNTY ENGINEERING DEPARTMENTS FOR A COPY OF THE LIST AND/OR APPLICATIONS CONTRACTORS HAVE THE RESPONSIBILITY TO ASSURE EROSION CONTROL OF ALL PUBLIC EASEMENTS PARTICULARLY WHEN THESE EASEMENTS ARE CLOSE PROXIMITY OF DRAINAGE EASEMENTS. SEE THE ASSIGNED INSPECTOR FOR DETAILS.

THE CONTRACTOR SHALL COMPLY WITH ALL UTILITIES PROTECTION CENTER REQUIREMENTS. ADDITIONAL ITEMS MAY BE REQUESTED IF DEEMED NECESSARY BY THE AUTHORITY.

UTILITY NOTES:

- EXISTING UTILITIES SHALL BE FIELD VERIFIED PRIOR TO INSTALLATION OF ANY NEW PIPE LINES.
- ALL SANITARY MANHOLES OUTSIDE OF PAVEMENT SHALL HAVE TOPS TWO FEET ABOVE FINISHED GROUND AND SHALL HAVE BOLT-DOWN, WATERTIGHT COVERS.
- NO BURST PITS ALLOWED WITHIN SANITARY SEWER EASEMENTS.
- NO FENCES, STRUCTURES, OR OTHER OBSTRUCTIONS ALLOWED WITHIN SANITARY SEWER EASEMENTS.
- NO POOL DRAINS, DUMPSTER PADS, OR ROOF DRAIN DISCHARGE ALLOWED IN SANITARY LINES.
- ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO NOTIFY ALL UTILITY COMPANIES PRIOR TO ANY EXCAVATION.
- THE DEVELOPER SHALL NOTIFY THE COWETA COUNTY WATER AND SEWERAGE AUTHORITY AND THE COWETA COUNTY TRANSPORTATION AND ENGINEERING DEPARTMENT FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER MAY REQUEST A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER AND HIS CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE WATER AND SEWERAGE AUTHORITY AND THE COWETA COUNTY TRANSPORTATION AND ENGINEERING DEPARTMENT AT ANY TIME AND AT THEIR REQUEST NO DIRT COVER SHALL BE PLACED ON ANY PORTION OF COMPLETED SEWER SYSTEM UNTIL IT HAS BEEN INSPECTED AND APPROVED BY THE WATER AND SEWERAGE AUTHORITY.
- WHENEVER THE SEWER IS TO BE INSTALLED IN A FILL AREA OR IN CUT WITH LESS THAN FOUR (4) FEET OF COVER (TOP OF PIPE TO GROUND SURFACE OR BENEATH A PROPOSED COUNTY ROADWAY OR STREET), THE WATER AND SEWERAGE AUTHORITY SHALL BE NOTIFIED AND THE INSTALLATION OF DOUBLE WALL POLYETHYLENE PIPE SHALL BE REQUIRED. THE PIPE SHALL BE INSTALLED TO A MINIMUM OF 18" COVER AND SHALL BE PROTECTED BY A 6" MINIMUM THICKNESS OF GRANULAR FILL. THE WATER AND SEWERAGE AUTHORITY SHALL BE NOTIFIED AND THE INSTALLATION OF DOUBLE WALL POLYETHYLENE PIPE SHALL BE REQUIRED. THE PIPE SHALL BE INSTALLED TO A MINIMUM OF 18" COVER AND SHALL BE PROTECTED BY A 6" MINIMUM THICKNESS OF GRANULAR FILL.
- ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE WATER AND SEWERAGE AUTHORITY AND COWETA COUNTY TRANSPORTATION AND ENGINEERING AT ANY TIME AND AT THEIR REQUEST NO DIRT COVER SHALL BE PLACED ON ANY PORTION OF COMPLETED WATER OR SEWER SYSTEM UNTIL IT HAS BEEN INSPECTED AND APPROVED BY THE WATER AND SEWERAGE AUTHORITY INSPECTOR. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO COORDINATE ALL CONSTRUCTION AND INSURE THAT THESE STANDARDS ARE ADHERED TO. ANY WORK NOT MEETING THESE STANDARDS SHALL BE CORRECTED IMMEDIATELY BY THE DEVELOPER. AFTER NOTIFICATION BY THE COUNTY WATER AND SEWERAGE AUTHORITY REPRESENTATIVE, SHOULD THE WORK NOT BE CORRECTED TO MEET THESE STANDARDS A WRITTEN STOP WORK ORDER SHALL BE ISSUED BY THE WATER AND SEWERAGE AUTHORITY UNTIL THE DEFICIENCIES HAVE BEEN CORRECTED.
- WHENEVER THE SEWER IS TO BE INSTALLED IN A FILL AREA OR IN CUT WITH LESS THAN FOUR (4) FEET OF COVER (TOP OF PIPE TO GROUND SURFACE OR BENEATH A PROPOSED COUNTY ROADWAY OR STREET), THE WATER AND SEWERAGE AUTHORITY WILL REQUIRE THE INSTALLATION OF DOUBBLE WALL POLYETHYLENE PIPE.

BEDDING CLASSIFICATIONS FOR DUCTILE IRON PIPE:

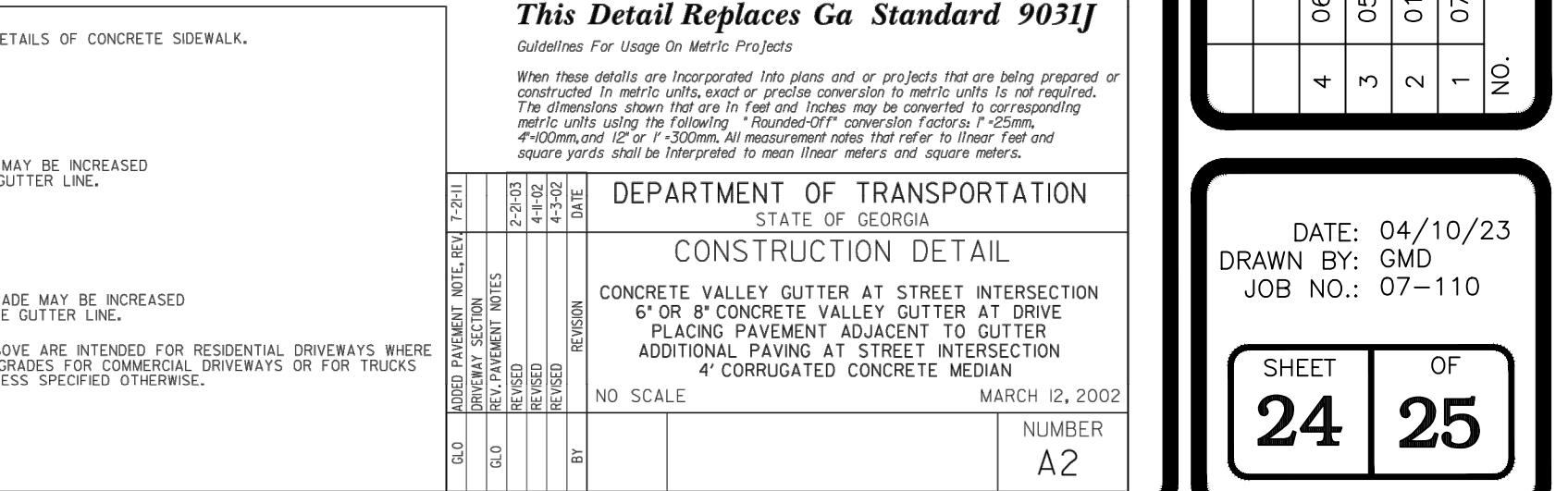
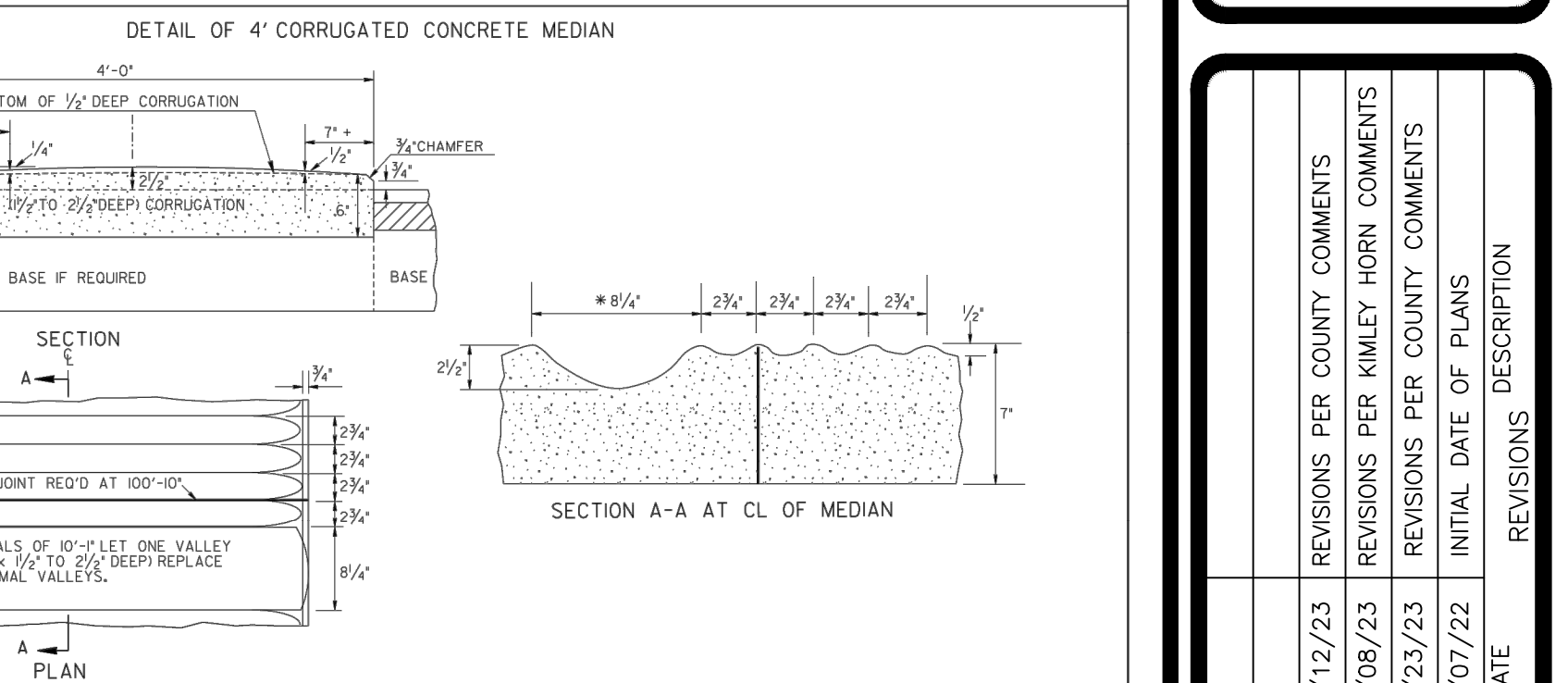
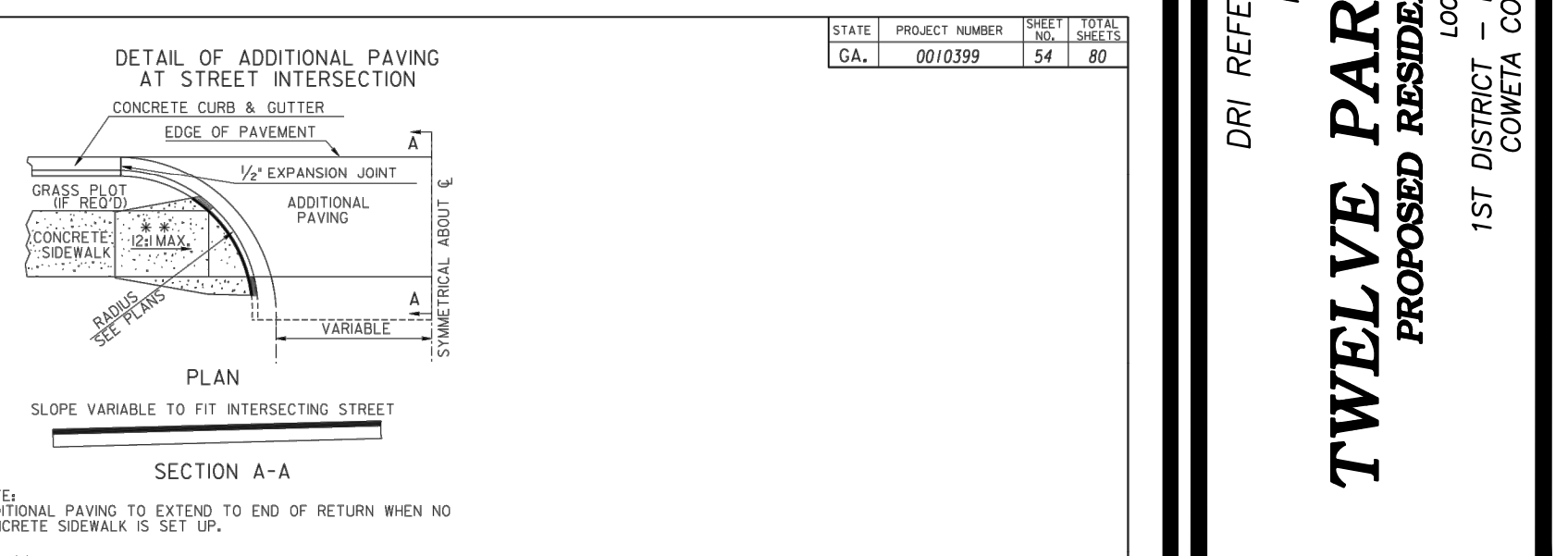
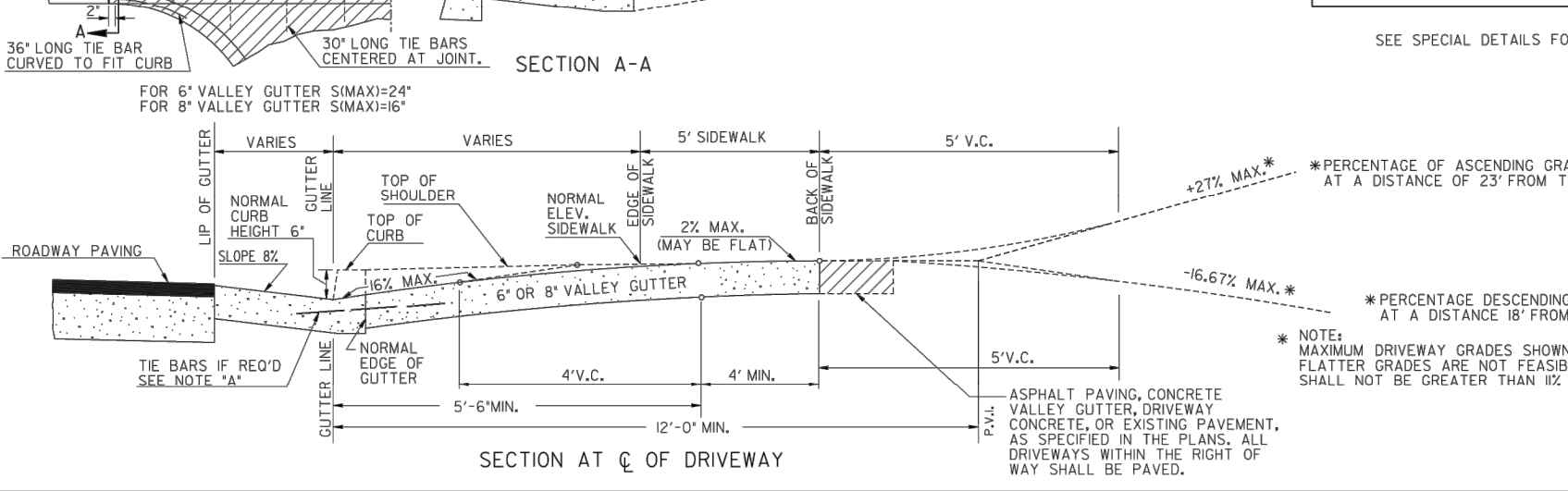
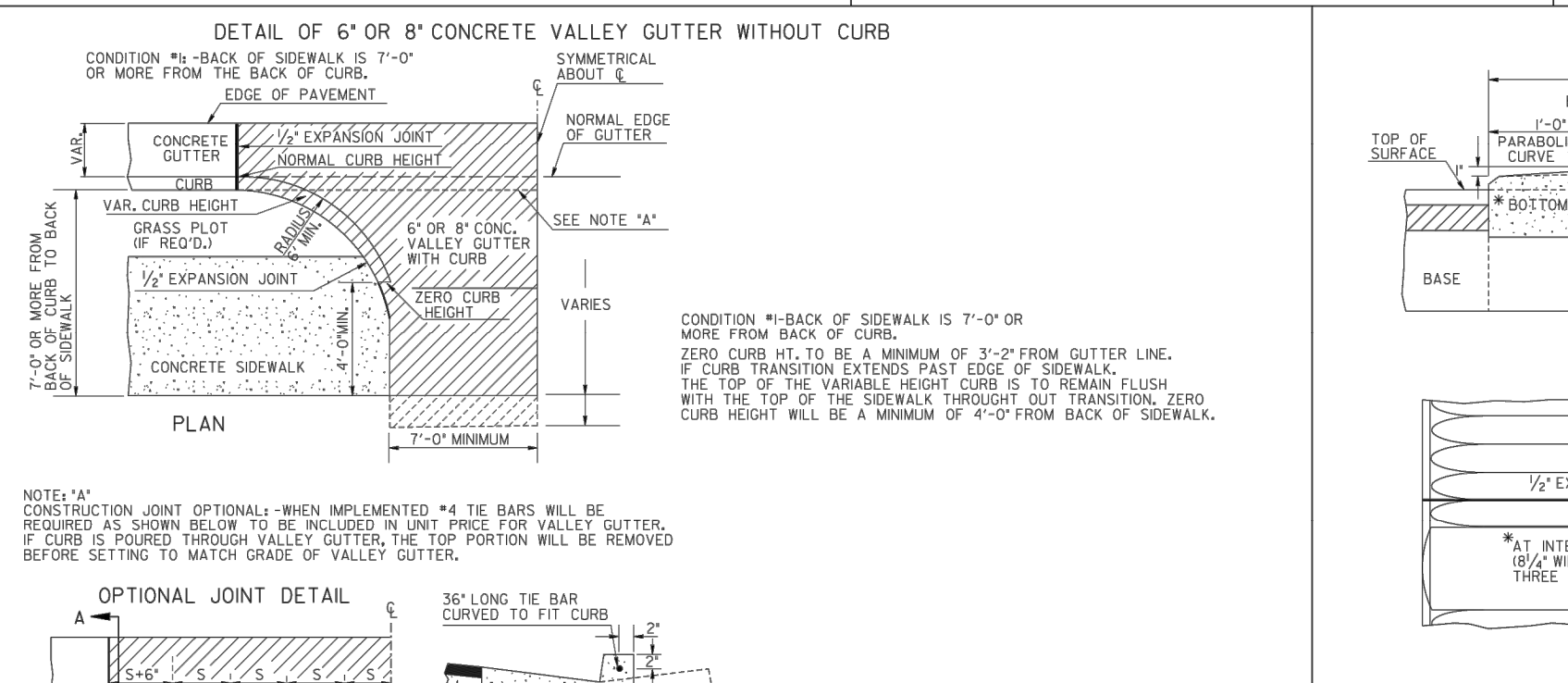
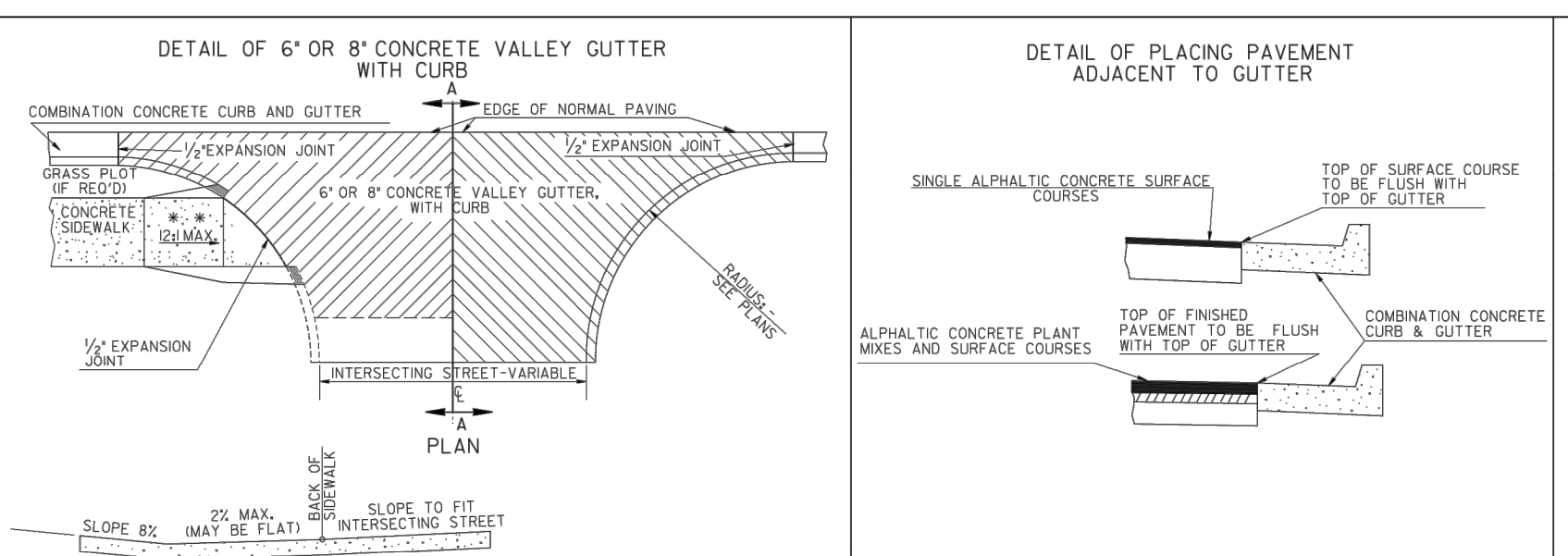
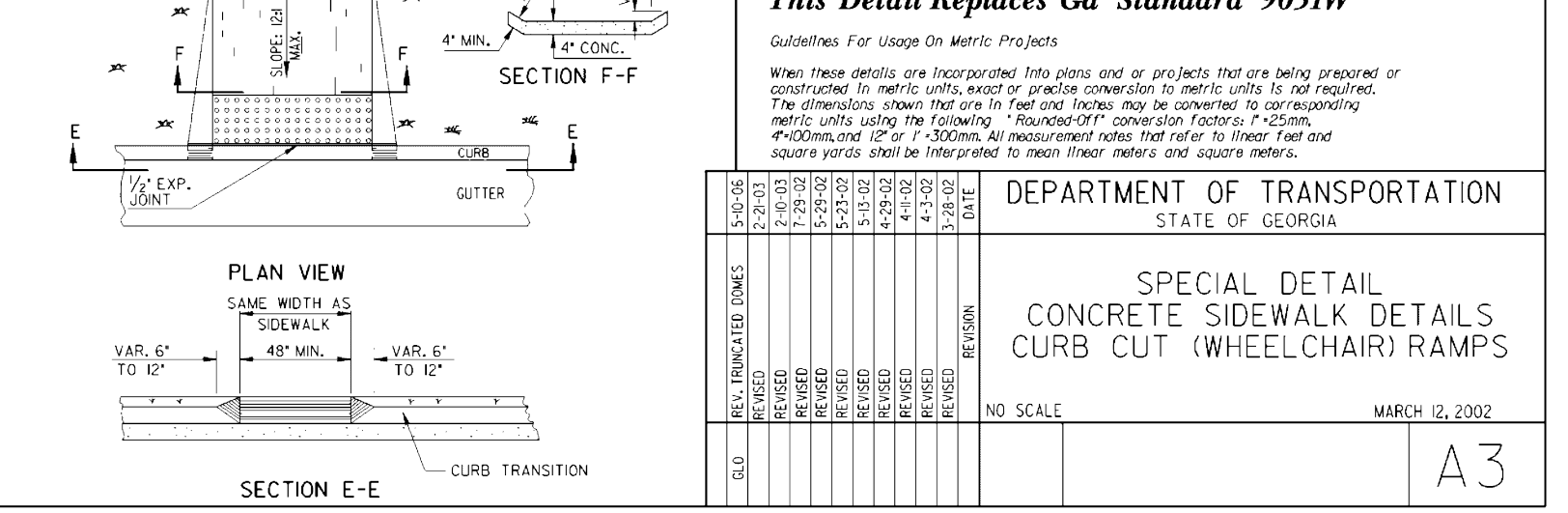
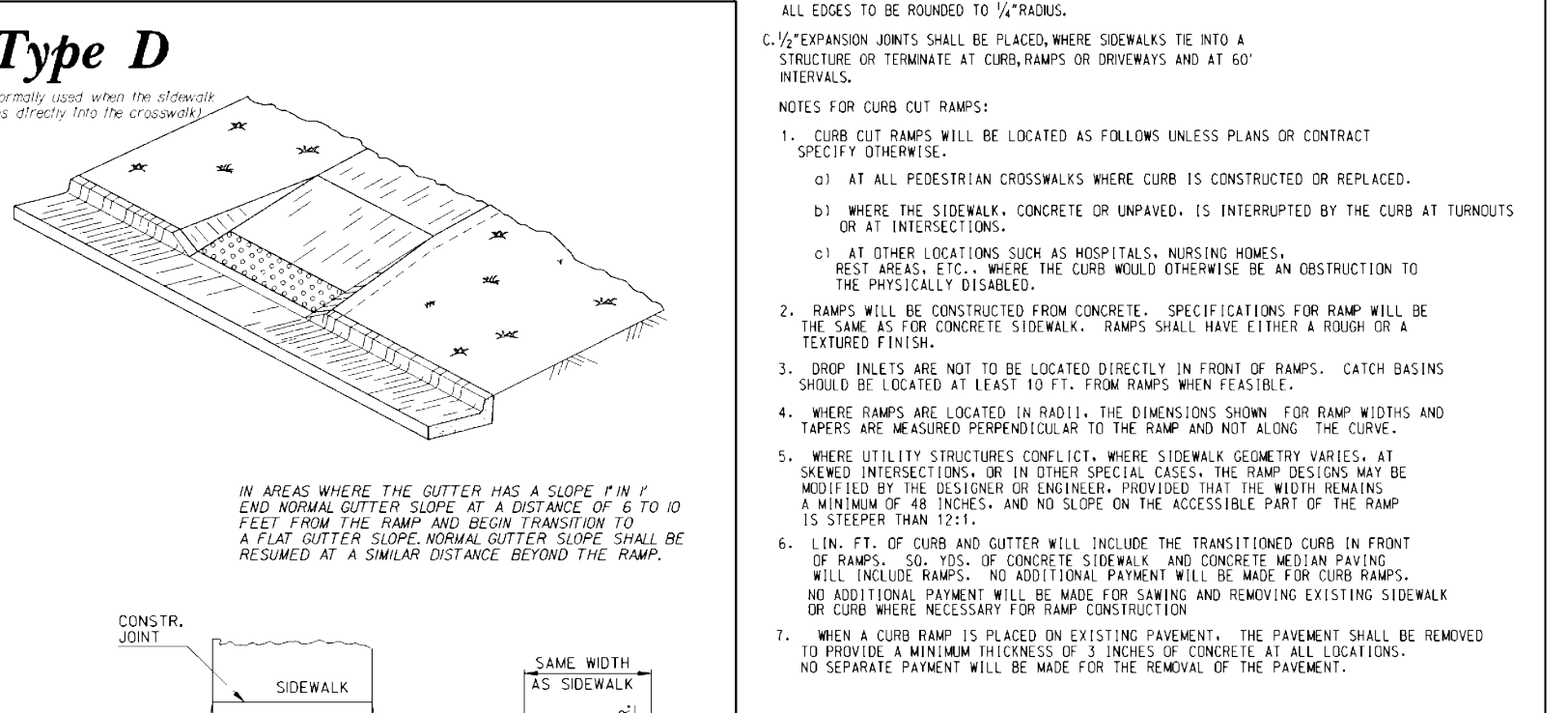
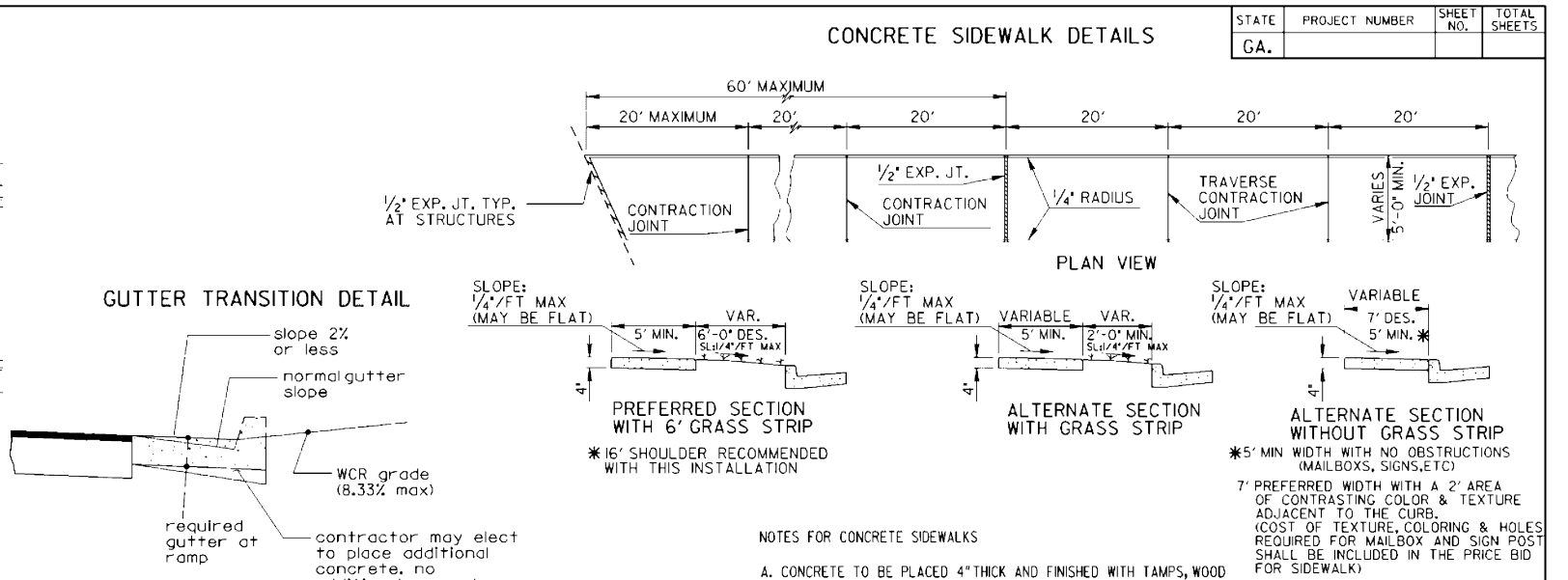
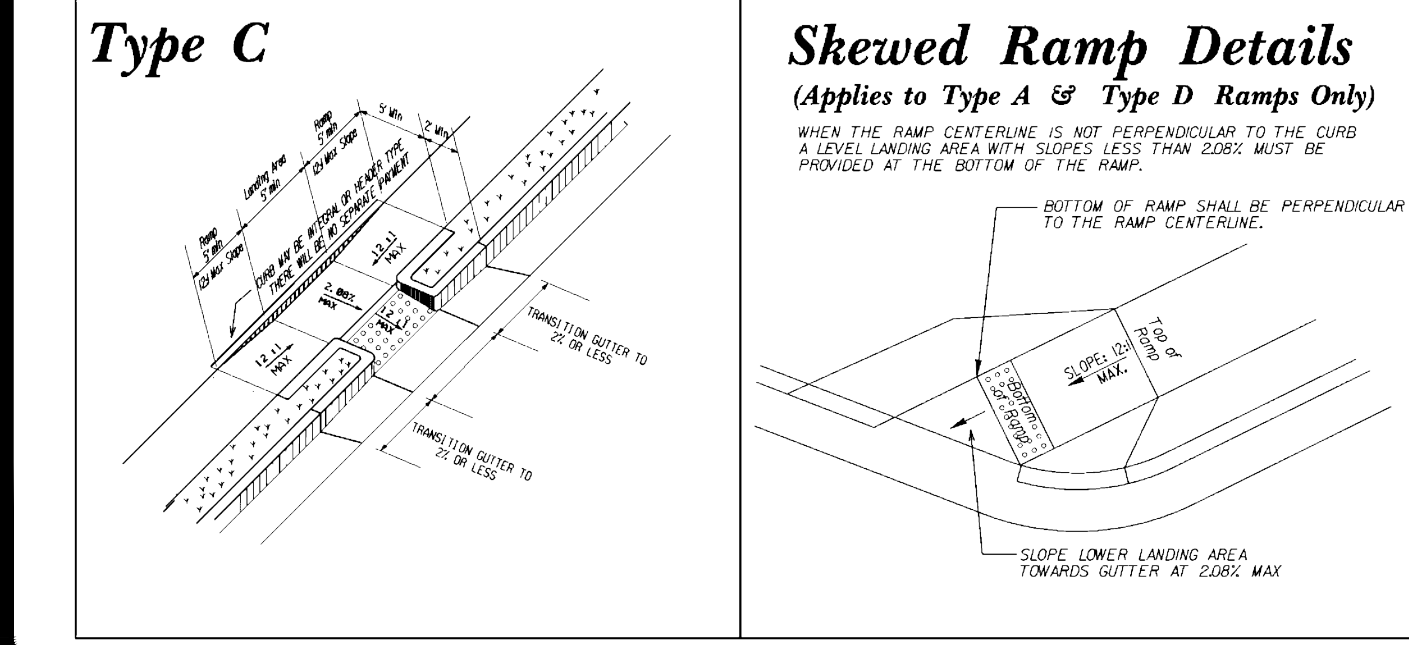
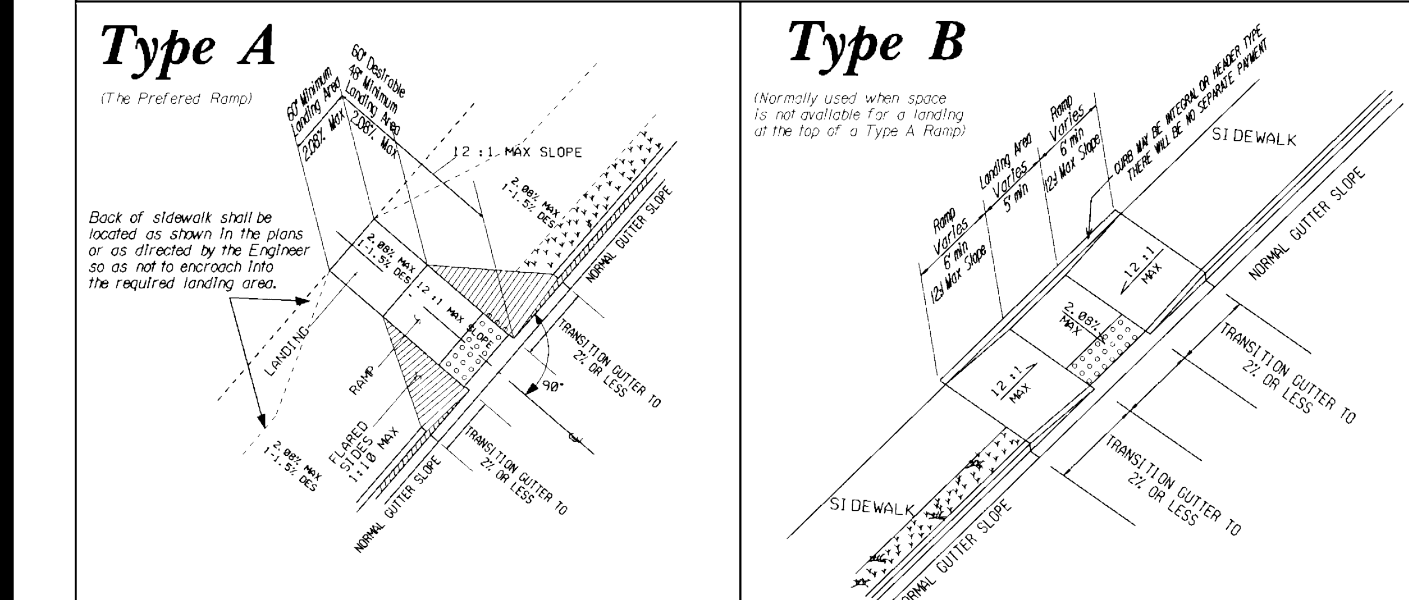
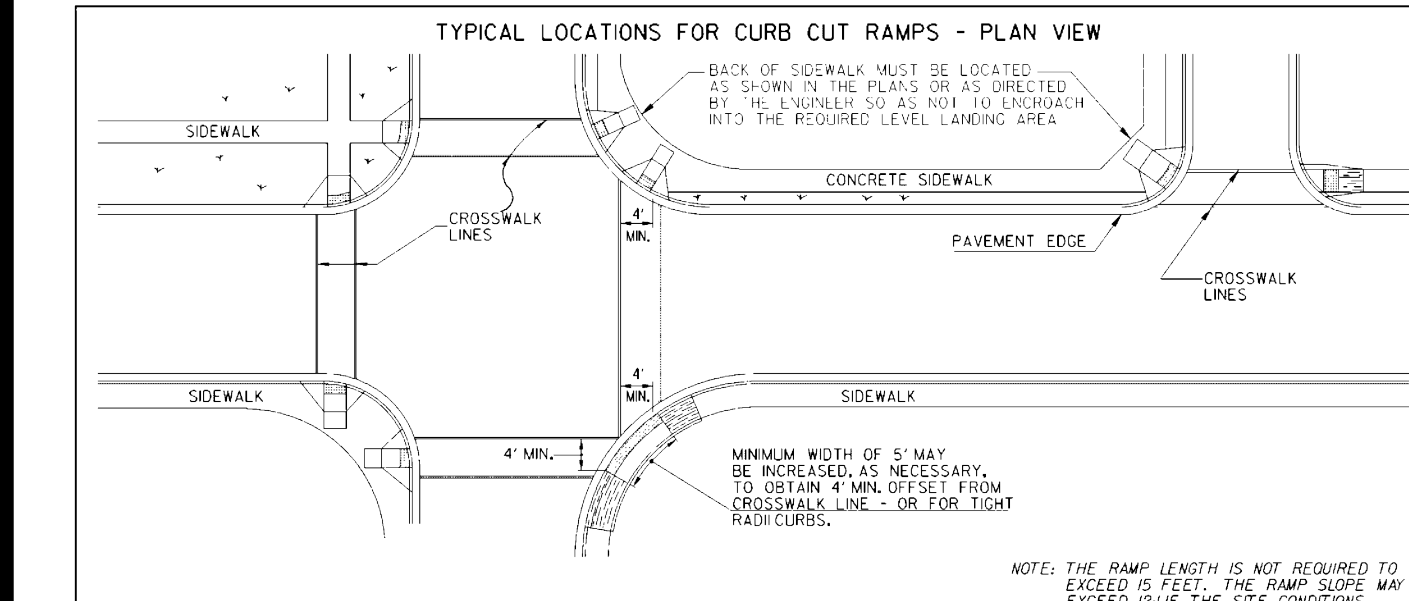
- PIPE SHALL BE BEDDED IN EITHER CLASS B OR CLASS C AS SPECIFIED BY THE DEVELOPER'S DESIGN ENGINEER.
- CLASS B - THE PIPE SHALL BE BEDDED WITH GRADED AGGREGATE BASE COURSE PLACED ON THE TRENCH BOTTOM. THE BEDDING SHALL HAVE A MINIMUM THICKNESS OF 4 INCHES ON ONE-SIDED OF THE OUTSIDE DIAMETER OF THE PIPE, WHICHEVER IS GREATER, AND SHALL EXTEND TO 12 INCHES ABOVE THE TOP OF THE PIPE. BACKFILL ABOVE THE TOP OF THE TRENCH TO 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE OF THE BEDDING MATERIAL OR CAREFULLY PLACED NATIVE SOIL. COMPACTED, BACKFILL SHALL BE FREE OF DEBRIS, ORGANIC MATERIAL AND STONES LARGER THAN 4 INCHES.
- CLASS C - THE PIPE SHALL BE BEDDED IN GRADED AGGREGATE BASE COURSE BEDDING MATERIAL PLACED ON THE TRENCH BOTTOM. THE BEDDING SHALL HAVE A MINIMUM THICKNESS BENEATH THE PIPE OF 4 INCHES OR ONE-SIDED OF THE OUTSIDE DIAMETER OF THE PIPE, WHICHEVER IS GREATER, AND SHALL EXTEND TO 12 INCHES ABOVE THE TOP OF THE PIPE. BACKFILL ABOVE 12 INCHES OVER THE TOP OF THE PIPE TO THE TOP OF THE TRENCH SHALL BE FINELY DIVIDED EARTH FREE FROM DEBRIS AND STONES, AND SHALL BE COMPACTED.
- CLASS D - IS NOT ALLOWED.

BEDDING REQUIREMENTS FOR POLY(VINYL CHLORIDE) PIPE:

- PVC SEWER SHALL BE INSTALLED IN A GRAVEL OR EMBEDMENT MATERIAL AS SPECIFIED HEREIN. THE EMBEDMENT MATERIAL SHALL BE NO. 57 STONE. THE BEDDING SHALL BE PLACED TO THE TOP OF THE PIPE IN THREE (3) SUCCESSIVE APPLICATIONS. FIRST A TRENCH TO A MINIMUM OF 8 INCHES DEPTH SHALL BE PLACED TO PROPER GRADE PRIOR TO PIPE INSTALLATION. FOLLOWING PIPE INSTALLATION, THE EMBEDMENT MATERIAL SHALL BE CAREFULLY PLACED AS HAUNCHING TO NO MORE THAN ONE THIRD OF THE PIPE DIAMETER. THE HAUNCHING SHALL BE SLOTTED UNDERNEATH THE PIPE. THE REMAINING SHOULDER TO ENSURE FIRM BASE AND SIDE SUPPORT.

BACKFILLING

- BACKFILL MATERIAL ABOVE THE PIPE EMBEDMENT SHALL CONSIST OF NATIVE EARTH, FREE FROM LARGE STONES, CLDS, DEBRIS OR OTHER OBJECTIONABLE MATERIAL.
- IN ALL PAVED AREAS, PARTICULARLY IN ROADS AND STREETS, PARKING LOTS AND DRIVEWAYS, THE FULL BACKFILL SHALL BE THOROUGHLY TAMPED IN 6" INCH LAYERS TO A MINIMUM OF 8% STANDARD PROCTOR DENSITY. THE WATER AND SEWERAGE AUTHORITY WILL REQUIRE THAT SOIL COMPACTION TEST BE PERFORMED BY AN OUTSIDE TESTING CONSULTANT AT EACH MANHOLE LOCATION AND AT ONE REPRESENTATIVE LOCATION BETWEEN EACH MANHOLE. THE DEVELOPER WILL BE RESPONSIBLE FOR PAYMENT TO THE TESTING CONSULTANT. PARTIAL BACKFILLING SHALL BE PROHIBITED. THE TESTING CONSULTANT SHALL BE SUBJECT TO MAIL DELIVERY WHERE PROMPT BACKFILLING IS REQUIRED TO PREVENT INCONVENIENCE TO THE PUBLIC.
- ALL AREA OF CONSTRUCTION, THE EXCAVATED TRENCHES, TRENCHES FROM THE PREMISES AND THE COMPLETED WORK SHALL BE KEPT IN A NEAT AND ACCEPTABLE CONDITION AS SUCH ITEMS AS BROKEN PAVEMENT AND OTHER MATTER NOT CLASSIFIED AS EARTH.
- TRENCHES AND OTHER UNPAVED AREAS COMPLETED BY THE CONTRACTOR SHALL BE KEPT IN A GOOD AND SAFE CONDITION DURING A THREE YEAR MAINTENANCE PERIOD FOLLOWING ACCEPTANCE BY THE WATER AND SEWERAGE AUTHORITY AND REGULATORY AGENCIES.
- TRENCHES SHALL BE BACKFILLED AS SOON AS PRACTICAL AFTER LAYING AND JOINTING THE PIPE. PROVISIONS FOR TRAFFIC SPECIFIED UNDER TRENCH EXCAVATION MUST BE ADHERED TO.
- IN NON-TRAFFIC AREAS INITIAL BACKFILL SHALL BE PLACED CAREFULLY WITH MECHANICAL TAMPS TO ONE FOOT ABOVE THE TOP OF THE PIPE. THE REMAINING OF THE TRENCH MAY BE BACKFILLED WITH LIGHT COMPACTED. THE BACKFILL SHALL BE ROUNDED OVER THE TRENCH TO PROVIDE ALLOWANCE FOR FUTURE BACKFILL SETTLEMENT.



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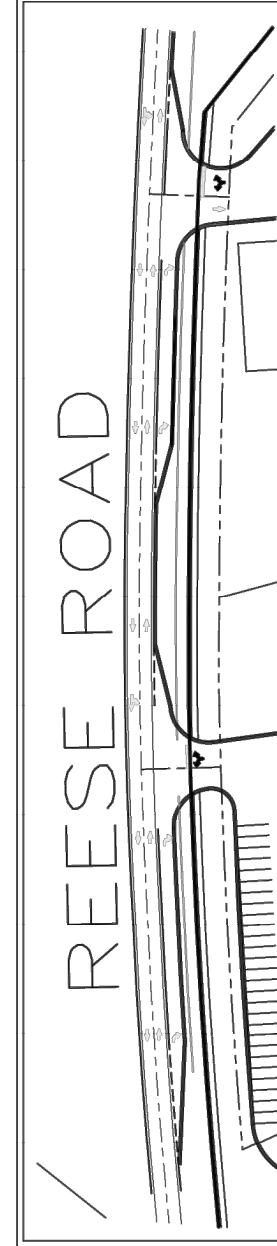
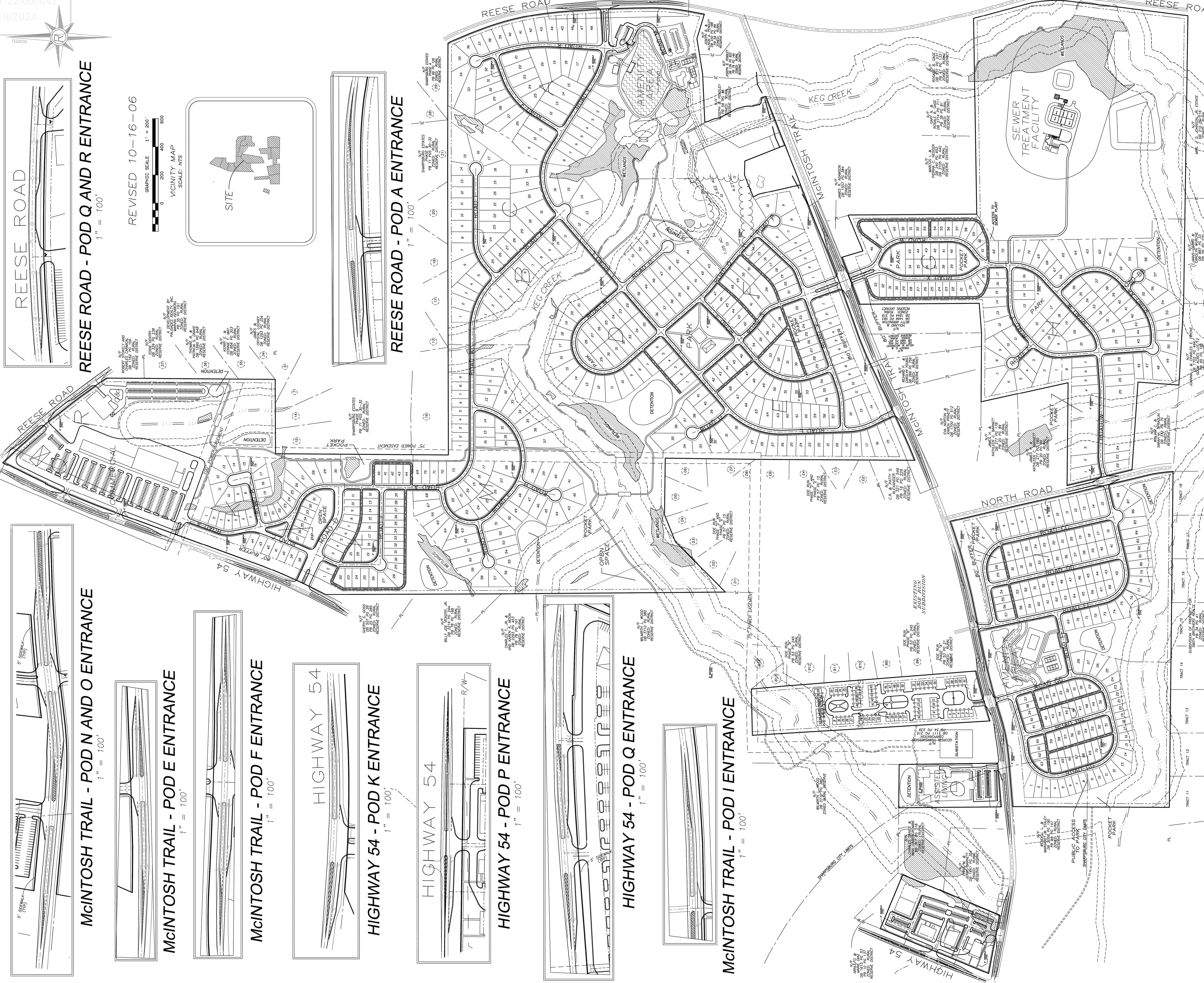
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT
 1ST DISTRICT - LAND LOTS 151-152
 COWETA COUNTY, GEORGIA

FOR DRI REFERENCE PLAN

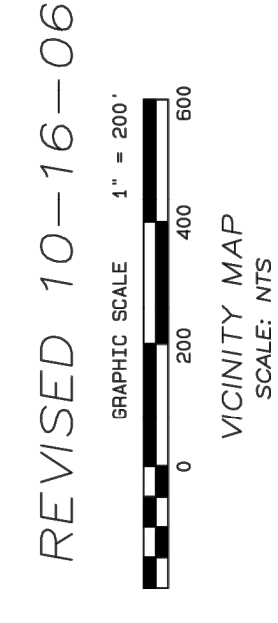
NO.	DATE	REVISIONS
4	06/12/23	REVISIONS PER COUNTY COMMENTS
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

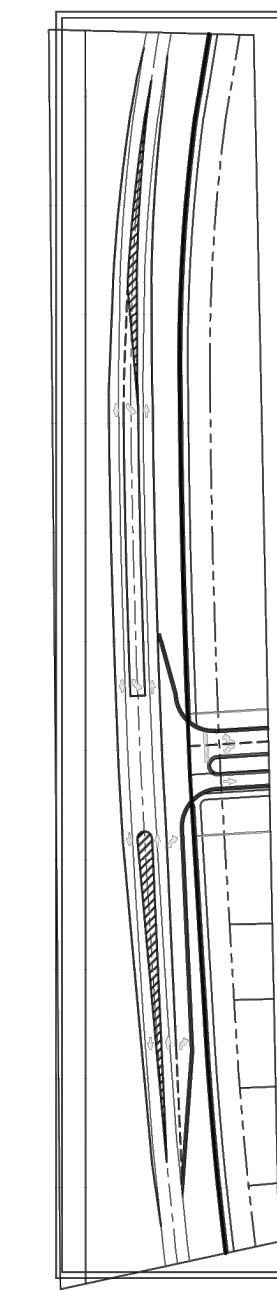
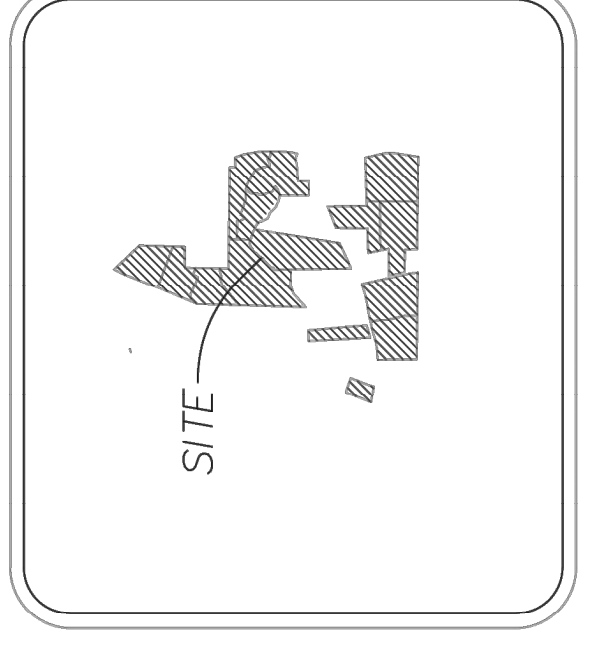
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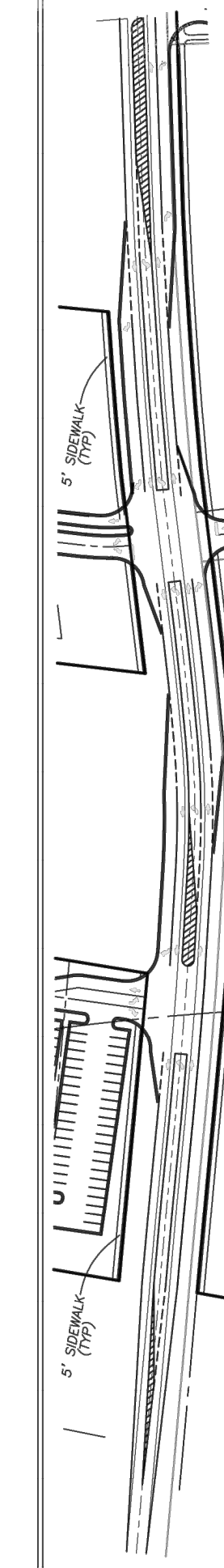
REESE ROAD - POD Q AND R ENTRANCE
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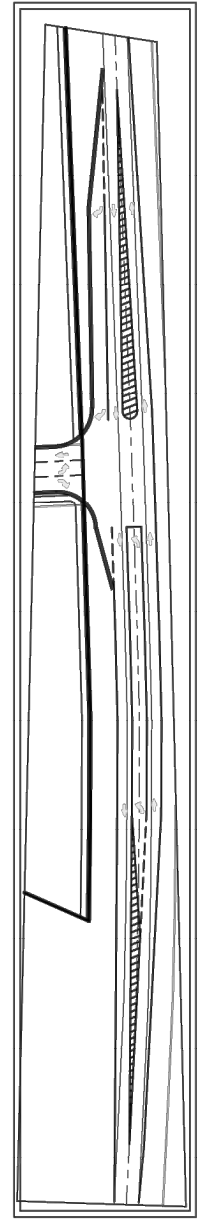
REVISED 10-16-06
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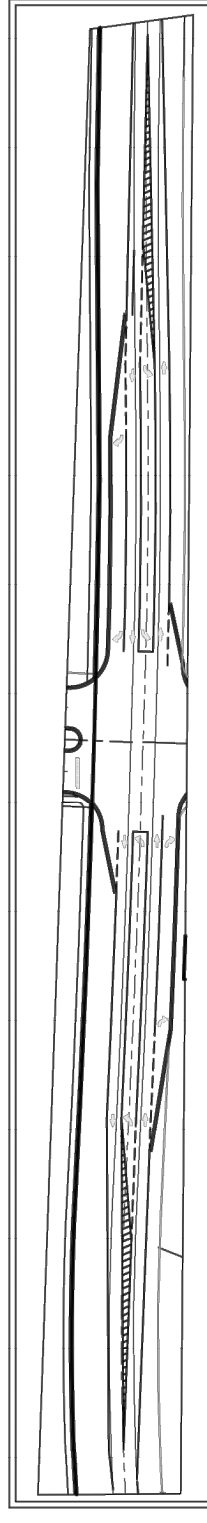
REESE ROAD - POD A ENTRANCE
 1" = 100'



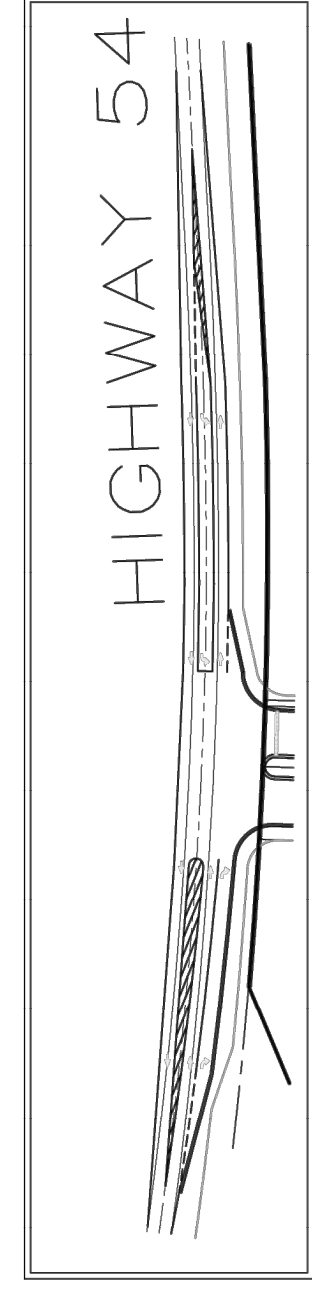
McINTOSH TRAIL - POD N AND O ENTRANCE
 1" = 100'



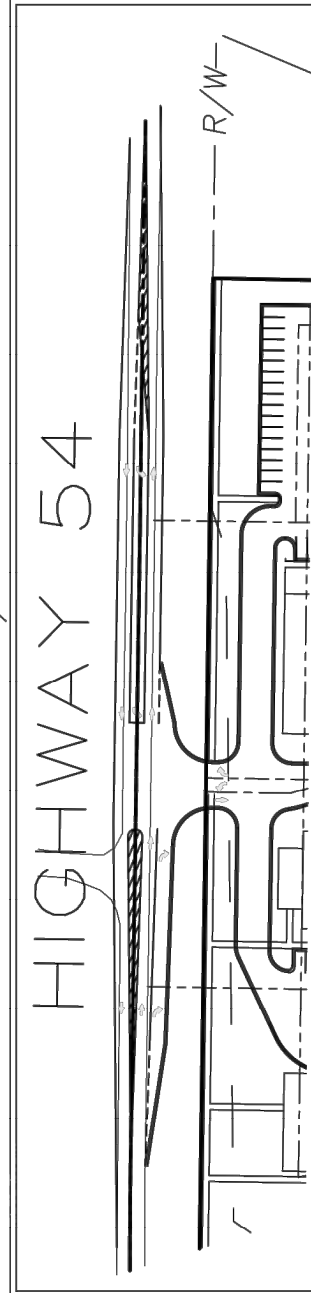
McINTOSH TRAIL - POD E ENTRANCE
 1" = 100'



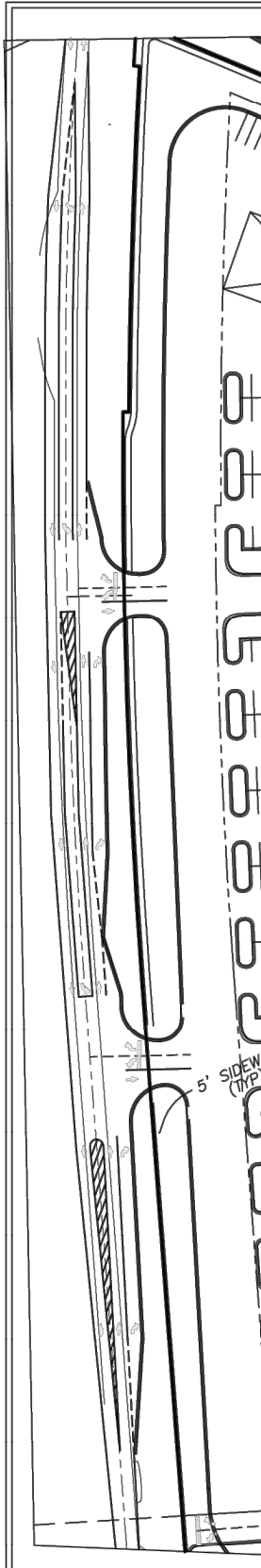
McINTOSH TRAIL - POD F ENTRANCE
 1" = 100'



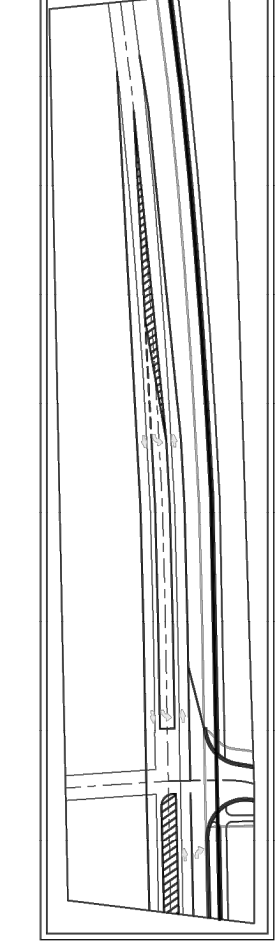
HIGHWAY 54 - POD K ENTRANCE
 1" = 100'



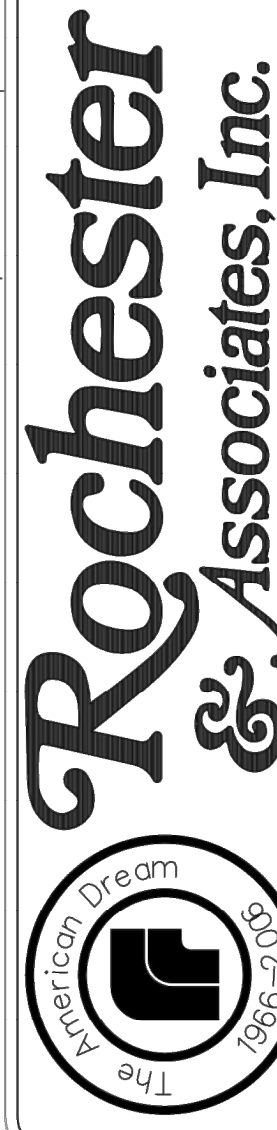
HIGHWAY 54 - POD P ENTRANCE
 1" = 100'



HIGHWAY 54 - POD Q ENTRANCE
 1" = 100'



McINTOSH TRAIL - POD I ENTRANCE
 1" = 100'



425 Oak Street N.W. Gainesville, Georgia 30501
 (770)718-0600 (770)718-9090 Fax www.rochester-assoc.com

MASTER DEVELOPMENT
 SITE PLAN
 FOR
TWELVE PARKS
 AT SHARPSBURG

LOCATED IN
 1ST DISTRICT - LAND LOTS 151, 152 & 153
 COMETA COUNTY

NO.	DATE	REVISIONS DESCRIPTION
4	06/12/23	REVISIONS PER COUNTY COMMENTS
3	05/08/23	REVISIONS PER RIMLEY HORN COMMENTS
2	01/23/23	REVISIONS PER COUNTY COMMENTS
1	07/07/22	INITIAL DATE OF PLANS

DATE: 04/10/23
 DRAWN BY: GMD
 JOB NO.: 07-110

SHEET **25** OF **25**

1ST DISTRICT - LAND LOTS 151-152
 COMETA COUNTY, GEORGIA

FOR
TWELVE PARKS - PHASE B1
 PROPOSED RESIDENTIAL DEVELOPMENT

DAY
 DESIGN
 GROUP, Inc.

CIVIL ENGINEERING
 LANDSCAPE ARCHITECTURE
 SITE PLANNING
 P.O. BOX 848
 BUFORD, GA 30515
 (770) 271-4576 ph.
 (770) 359-8568 fax
 www.daydesigngroup.com



THIS PLAN IS CONCEPTUAL IN NATURE AND IS SUBJECT TO THE APPROVAL OF THE TOWN OF SHARPSBURG. ONLY WITH APPROVAL FROM THE TOWN OF SHARPSBURG.